



**City of Kingston
Report to Committee of Adjustment
Report Number COA-24-092**

To: Chair and Members of the Committee of Adjustment
From: Jason Partridge, Planner
Date of Meeting: November 18, 2024
Application for: Minor Variance
File Number: D13-074-2024
Address: 4292 Bath Road
District: D13-074-2024
Owner: Chris Davis and Tina Zhu
Applicant: Brett Smith

Council Strategic Plan Alignment:

Theme: Policies & by-laws

Goal: 2.3 Maintain the City's natural heritage and environmental assets.

Executive Summary:

This report provides a recommendation to the Committee of Adjustment regarding an application for minor variance for the property located at 4292 Bath Road. The applicant is requesting relief from the minimum waterbody separation distance and the maximum surface area of floor level requirements to construct two rear yard decks. The western side deck will be 51.65 square metres in size with 49.3 square metres over 1.2 metres in height and the eastern side deck will be 13.95 square metres under 1.2 metres in height. The proposed development complies with all other requirements of the Kingston Zoning By-Law, including rear yard, interior side yard, front yard, and landscaped open space requirements.

The requested minor variance is consistent with the general intent and purpose of both the City of Kingston Official Plan and Kingston Zoning By-Law Number 2022-62. The requested minor variances are desirable for the appropriate development or use of the land, building or structure

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and are minor in nature. As such, the proposed application meets all four tests under Subsection 45(1) of the *Planning Act* and is recommended for approval.

Recommendation:

That minor variance application, File Number D13-074-2024, for the property located at 4292 Bath Road to construct two rear yard decks. The western deck will be 51.65 square metres with 49.31 square metres over 1.2 metres in height with a 11.87 metre setback from the waterbody and the eastern side deck will be 13.95 square metres under 1.2 metres in height., be approved, as described below:

Variance Number 1: Waterbody Separation Distance (Deck)

By-Law Number 2022-62:Section 4.23.1

Requirement: 30 metres

Proposed: 11.87 metres

Variance Requested: 18.13 metres

Variance Number 2: Maximum surface area of floor level(s) above 1.2 metres

By-Law Number 2022-62:Section 4.20.5.1 metres in height

Requirement: 30 square metres

Proposed: 49.31 square metres

Variance Requested: 19.31 square metres

That approval of the application be subject to the conditions attached as Exhibit A (Recommended Conditions) to Report Number COA-24-092.

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Authorizing Signatures:

ORIGINAL SIGNED BY PLANNER

Jason Partridge, Planner

In Consultation with the following Management of the Community Services Group:

Tim Park, Director, Planning Services

James Bar, Manager, Development Approvals

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Options/Discussion:

On September 13, 2024, a minor variance application was submitted by Brett Smith, on behalf of the owner, Chris Davis and Tina Zhu, with respect to the property located at 4292 Bath Road. The variance is requested to seek relief from the minimum waterbody separation distance and the maximum surface area of floor level requirements to construct two rear yard decks. The waterbody separation distance will be 11.87 metres. The western side deck will be 51.65 square metres in size with 49.31 square metres over 1.2 metres in height and the eastern side deck will be 13.95 square metres under 1.2 metres in height.

In support of the application, the applicant has submitted the following:

- Site Plan (Exhibit F)
- Elevations (Exhibit G)

All submission materials are available online through the Development and Services Hub (DASH) at the following link, [DASH](#), using "Look-up a Specific Address". If there are multiple addresses, search one address at a time, or submission materials may also be found by searching the file number.

Site Characteristics

The subject property is located 4292 Bath Road (Exhibit B – Key Map) and has a lot area of approximately 1360 square metres with approximately 35.49 metres of frontage along Bath Road. The property abuts single-detached houses to the east, west, north and Lake Ontario to the south. The subject property is also located in proximity to various community and open space uses, local schools, and commercial uses. Kingston Transit operates in proximity to the site, with Transit Route 10 operating along Bath Road. (Exhibit C – Neighbourhood Context Map). The subject property is designated Residential in the Official Plan (Exhibit D – Official Plan Map) and zoned Urban Residential UR2 in Kingston Zoning By-Law Number 2022-62 (Exhibit E – Zoning By-Law Map).

Provincial Planning Statement

In addition to the four tests of a minor variance detailed below, Subsection 3(5) of the *Planning Act* requires that a decision in respect of the exercise of any authority that affects a planning matter shall be consistent with the Provincial Planning Statement (the PPS). The PPS provides policy direction on matters of provincial interest related to land use planning and development which are complemented by local policies addressing local interests. The application being considered is site specific to accommodate a specific proposal and does not involve any major policy considerations and as such, the proposal conforms to and is consistent with the PPS.

Minor Variance Application

The review of an application for minor variance is not a simple mathematical calculation, but rather a detailed assessment of whether the variances requested, both separately and together,

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meet the four tests of a minor variance outlined in Subsection 45(1) of the *Planning Act*. The following provides this review:

The general intent and purpose of the Official Plan are maintained

The subject property is designated Residential in the City of Kingston Official Plan (Exhibit D – Official Plan Map).

In considering whether this proposed variance is desirable, the Committee of Adjustment will have regard to the nine requirements included in Section 9.5.19 of the Official Plan.

The proposed rear yard decks will not have any negative impacts on abutting properties or residential uses or structures. The proposal is compatible with the surrounding residential and recreation uses and will not result in significant impacts or changes to the surrounding area. The rear yard decks represent a reinvestment to the property that will result in a minor development on the subject property and will provide amenity area for its occupants. There is no increase in density or intensity of uses. The proposed development is consistent with the intent of this policy.

Section 3.9.2 states the protection of a 30-metre naturalized buffer along a waterbody, also referred to as a “ribbon of life”, can help to enhance water quality, minimize soil erosion, provide plant and animal habitat, establish connectivity and wildlife corridors, and contribute to the overall health of shoreline ecosystems, particularly fish habitat. The buffer may also be used to screen views of development from the water, and to create natural spaces for passive recreation. In this situation, the proposed development is not anticipated to have adverse impacts on the waterbody due to the extent of existing disturbed land, the existing screen of vegetation cover to the east and west, and the requirement of a permit from the Cataraqui Region Conservation Area (CRCA) prior to construction. The proposed rear yard deck is located in an area of existing disturbance, well within the extent of existing development on the property.

The Cataraqui Conservation Authority was circulated the minor variance application and noted that they had no concerns with the reduction of the waterbody separation distance and increasing the maximum surface area of floor level based on natural hazards and wetland protection policies.

The Ministry of Transportation was circulated the minor variance application and noted that they had no concerns with the reduction of the waterbody separation distance and increasing the maximum surface area of floor level(s) to construct the rear decks.

The proposal involves the construction of two rear yard decks on the subject property. There will be no concerns with respect to the parking of vehicles and bicycles or issues relating to accessibility. One parking spot is required and provided.

The proposed rear yard decks are anticipated to be compatible with the existing built form on the subject property, as well as compatible with all surrounding land uses. The proposed decks has been located on the site so as to ensure that it's sufficiently setback from neighboring

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residential uses and using the existing screen of vegetation from neighbouring land uses. No land use compatibility concerns as outlined in Section 2.7 of the Official Plan are expected to arise resulting from approval of this application. No concerns relating to increased shadowing, intrusive overlook, increased traffic, architectural incompatibility, or any other concerns outlined in Section 2.7.3 are anticipated.

The subject property is not a designated property under the Ontario Heritage Act, nor is it within a Heritage District. No impacts to any built heritage resources are anticipated as a result of this proposal, and as such, no Heritage Impact Statement is required. Furthermore, Heritage Planning staff have identified the subject property as having limited archaeological potential in the area of the proposed development. As such no assessment is required by Heritage Planning.

The site is located inside of the Urban Boundary and is currently connected to adequate municipal water. The proposed two rear yard decks are not anticipated to require any additional municipal services with its development.

The proposed variances propose a built form that is consistent and compatible with the existing built form along Bath Road. The requested relief is not warranted to be considered through a zoning by-law amendment.

The proposal meets the intent of the Official Plan, as the proposed rear yard decks will not result in any undue adverse impacts to adjacent properties or to the neighbourhood.

The general intent and purpose of the Zoning By-Law are maintained

The subject property is zoned UR2 in Kingston Zoning By-Law Number 2022-62 (Exhibit E – Zoning By-Law Map). The UR2 zone permits a single detached house with decks located within the rear yard.

The proposal requires variances to Section 4.23.1 and 4.20.5.1 of the Kingston Zoning By-Law as follows:

Variance Number 1: Waterbody Separation Distance (Deck)

By-Law Number 2022-62:Section 4.23.1

Requirement: 30 metres

Proposed: 11.87 metres

Variance Requested: 18.13 metres

Variance Number 2: Maximum surface area of floor level(s) above 1.2 metres

By-Law Number 2022-62:Section 4.20.5.1 metres in height

Requirement: 30 square metres

Proposed: 49.31 square metres

Variance Requested: 19.31 square metres.

A variance is required to seek relief from the 30 metre minimum waterbody separation distance. At 11.87 metres from the waterbody the proposed rear yard decks are not anticipated to have

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adverse impacts on the waterbody due to its location within the extent of the existing disturbed land, the existing screen of vegetation cover to the east and west, and the requirement of a permit from the Cataraqui Region Conservation Area (CRCA).

A variance is also required from Section 4.20.4.1 of Kingston Zoning By-Law Number 2022-62 to seek relief for the maximum permitted area for decks and steps above 1.2 metres in height.

The intent of the maximum area for decks and steps above 1.2 metres in height is to protect the surrounding properties from adverse impacts, such as intrusive overlook and privacy concerns, that could result in a reduction of the ability to enjoy one's property. The two adjacent neighbours to the east and west will not be unduly impacted as a result of the proposed deck expansion. The proposed deck exceeds the required side-yard setback on both sides (approximately 6 metres on the west side and 11 metres on the east side). The property abuts lake Ontario to the south. The required interior yard setback in the zoning by-law for a deck of this height would be only 1.2 metres on each side. The proposed increase in maximum area will maintain the intent of the by-law by providing for an appropriately scaled amenity area given the existing developments location and position on the property. and the general intent and purpose of Kingston Zoning By-Law Number 2022-62 is maintained.

The requested variance maintains the general intent and purpose of the zoning by-law.

The variance is minor in nature

At 11.87 metres from the waterbody the proposed rear yard decks are not anticipated to have adverse impacts on the waterbody due to its location within the extent of the existing disturbed land. The proposed rear yard decks will result in a development that is consistent with the long-established built form of single detached houses with rear yard decks along Bath Road. The proposed works are located within the rear yard and will not result in intrusive overlook with respect to adjacent residential properties elsewhere on the subject lands. The minimum interior yard setbacks will be exceeded between the western/eastern lot lines and mature tree growth on the western/eastern property will screen the new development from the existing adjacent residential properties. The proposed rear yard decks will provide the existing single detached house with additional functional amenity space. The variance will not alter the character of the neighbourhood or the existing streetscape.

The variance is desirable for the appropriate development or use of the land, building or structure

The proposed rear yard decks will provide additional outdoor amenity space for the existing residential use. The form of residential development is long established. Thus, the overall density, type of use and scale of activity as proposed is consistent with the existing built form of residential buildings along Bath Road.

The resulting built form satisfies all applicable provisions of the zoning by-law, except for the minimum waterbody separation distance and maximum deck size above 1.2 metres in height.

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The proposal does not involve a significant alteration to the existing built form on the site and will not cause any adverse impacts on adjacent properties.

The proposal is appropriate and compatible with the surrounding residential uses and will not result in significant impacts or changes to the surrounding area. The variance is desirable and appropriate use of the land.

The variance is desirable and appropriate use of the land.

Technical Review: Circulated Departments and Agencies

- Building Services
- Finance
- Fire & Rescue
- Solid Waste
- Housing
- KEDCO
- CRCA
- Parks Canada
- Hydro One
- Engineering
- Utilities Kingston
- Kingston Hydro
- Parks Development
- District Councillor
- Municipal Drainage
- KFL&A Health Unit
- Eastern Ontario Power
- Enbridge Pipelines
- Heritage Services
- Real Estate
- Environment Division
- Canadian National Railways
- Ministry of Transportation
- Parks of the St. Lawrence
- Trans Northern Pipelines
- CFB Kingston
- TransCanada Pipelines

Technical Comments

This application was circulated to external agencies and internal departments for their review and comment and there were no comments or concerns raised that would preclude this application from moving forward. Any technical comments that are received after the publishing of this report will be included as an addendum to the Committee of Adjustment Agenda.

Public Comments

At the time this report was finalized, no public comments received after the publishing of this report will be included as an addendum to the Committee of Adjustment Agenda.

Previous or Concurrent Applications

There are no concurrent or relevant historic planning applications on the subject property.

Conclusion

The requested variances maintains the general intent and purpose of both the City of Kingston Official Plan and Kingston Zoning By-Law Number 2022-62. The proposal is desirable for the appropriate development or use of the land, building or structure and the requested variances are minor in nature. As such, the proposed application meets all four tests under Subsection 45(1) of the Planning Act and the application is being recommended for approval, subject to the proposed conditions.

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Approval of this application will permit the construction of two decks within the rear yard of the subject property with a reduced minimum waterbody separation distance. The proposal will provide the owners of the property with additional functional amenity space associated to the single detached house and represents good land use planning.

Existing Policy/By-Law:

The proposed application was reviewed against the policies of the Province of Ontario and City of Kingston to ensure that the changes would be consistent with the Province's and the City's vision of development. The following documents were assessed:

Provincial

Provincial Planning Statement, 2024

Municipal

City of Kingston Official Plan

Kingston Zoning By-Law Number 2022-62

Notice Provisions:

A Committee of Adjustment Meeting is going to be held respecting this application on November 18, 2024 Pursuant to the requirements of the *Planning Act*, a notice of Statutory Public Meeting was provided by advertisement in the form of signs posted on the subject site 10 days in advance of the meeting. In addition, notices were sent by mail to a total number of 13 property owners (according to the latest Assessment Roll) within 60 metres of the subject property and a courtesy notice was placed in The Kingston Whig-Standard (Exhibit I – Public Notification Map).

Once a decision has been rendered by the Committee of Adjustment, a Notice of Decision will be circulated in accordance with the provisions of the *Planning Act*.

Accessibility Considerations:

None

Financial Considerations:

None

Contacts:

James Bar, Manager, Development Approvals, 613-546-4291 extension 3213

Jason Partridge, Planner, 613-546-4291 extension 3216

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Other City of Kingston Staff Consulted:

None

Exhibits Attached:

- Exhibit A Recommended Conditions
- Exhibit B Key Map
- Exhibit C Neighbourhood Context Map (2024)
- Exhibit D Official Plan Map
- Exhibit E Zoning By-Law Map
- Exhibit F Site Plan
- Exhibit G Elevations
- Exhibit H Site Photos
- Exhibit I Public Notification Map

Recommended Conditions

The approval of minor variance application, File Number D13-074-2024, to reduce the minimum waterbody separation distance and increase the maximum surface area of floor level above 1.2 metres in height to construct two decks 51.65 and 13.95 square metres in size within the rear yard, shall be subject to the following recommended conditions:

1. **Limitation**

That the approved variances apply only to the 51.65 square metre and 13.95 square metre decks within the rear yard as shown on the drawing attached to this decision.

2. **No Adverse Impacts**

The owner/applicant shall demonstrate to the satisfaction of the City that there are no adverse impacts on neighbouring properties as a result of any modifications to on-site grading or drainage.

3. **Building Permit Application Requirements**

The owner/applicant shall provide to the Building Services a copy of the decision of the Committee of Adjustment, together with a copy of the approved drawings, when they make application for a Building Permit.

The drawings submitted with the Building Permit application must, in the opinion of the City, conform to the general intent and description of the approved drawing(s), including any amendments and conditions approved by the Committee of Adjustment, as stated in the decision. It must be noted that additional planning approvals may be required should further zoning deficiencies be identified through the Building Permit application process.

4. **Standard Archeological Condition**

In the event that deeply buried or previously undiscovered archaeological deposits are discovered in the course of development or site alteration, all work must immediately cease and the site must be secured. The Archaeology Program Unit of the Ministry of Citizenship and Multiculturalism (archaeology@ontario.ca) and City of Kingston's Planning Services (613-546-4291, extension 3180) must be immediately contacted.

In the event that human remains are encountered, all work must immediately cease and the site must be secured. The Kingston Police (613-549-4660), the Office of the Chief Coroner as a part of the Ontario Ministry of the Solicitor General (1-877-9919959), the Archaeology Program Unit of the Ministry of Citizenship and Multiculturalism (archaeology@ontario.ca), and City of Kingston's Planning Services (613-546-4291, extension 3180) must be immediately contacted.


5. Cataraqui Conservation Authority Condition

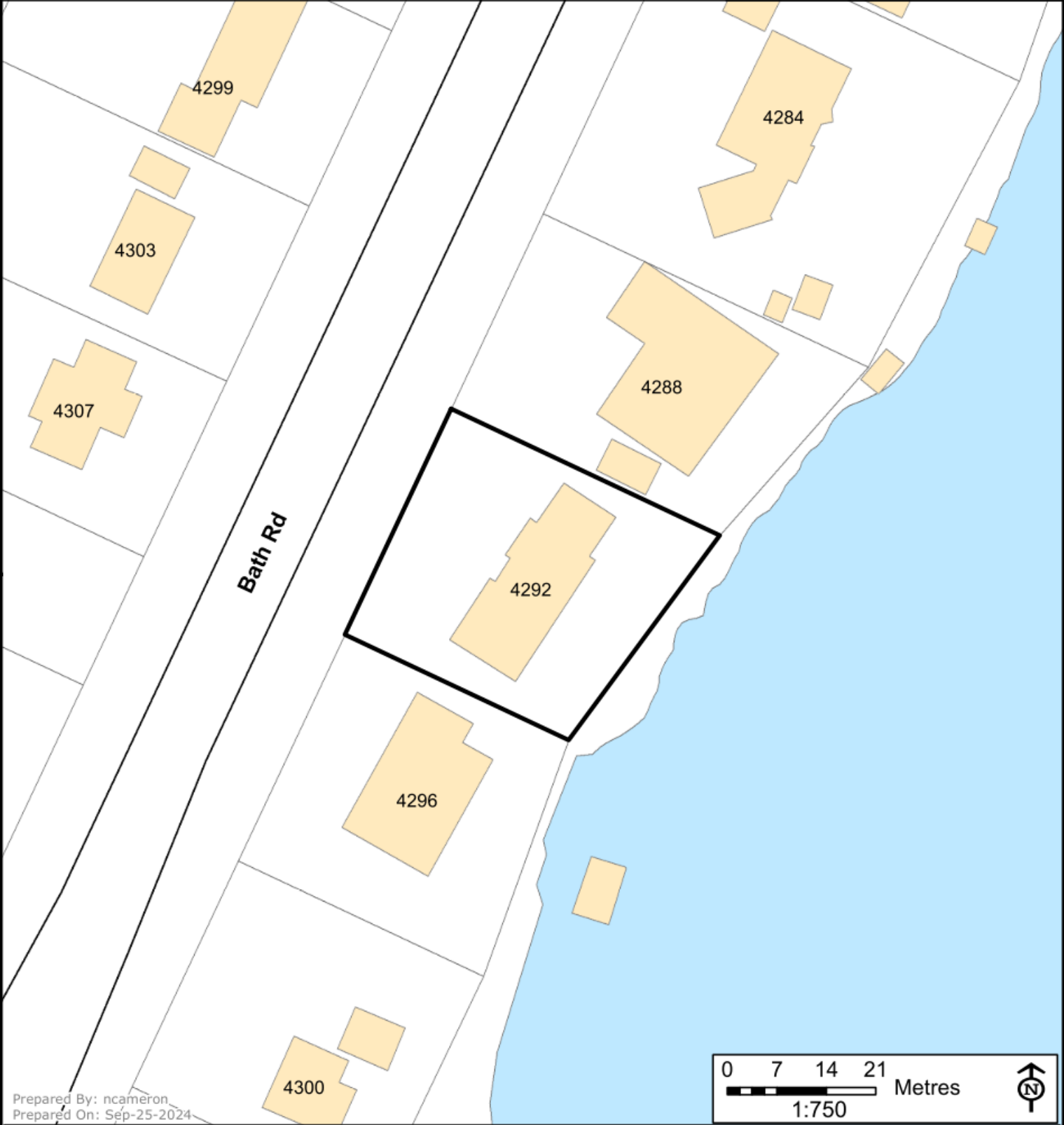
Prior to the issuance of a building permit, the owner of 4292 Bath Road must obtain a permit from the Cataraqui Conservation Authority to construct the two decks located within the rear yard of the property



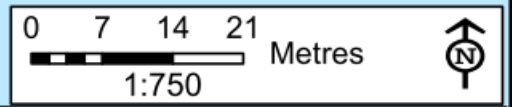
Committee of Adjustment Key Map

Address: 4292 Bath Rd.
File Number: D13-074-2024
Prepared On: Sep-25-2024

 Lands Subject to Minor Variance



Prepared By: ncameron
Prepared On: Sep-25-2024



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Committee of Adjustment Neighbourhood Context

Address: 4292 Bath Rd.
File Number: D13-074-2024
Prepared On: Oct-15-2024

- Subject Lands
- Property Boundaries
- Proposed Parcels



Prepared By: lchu
Prepared On: Oct-15-2024

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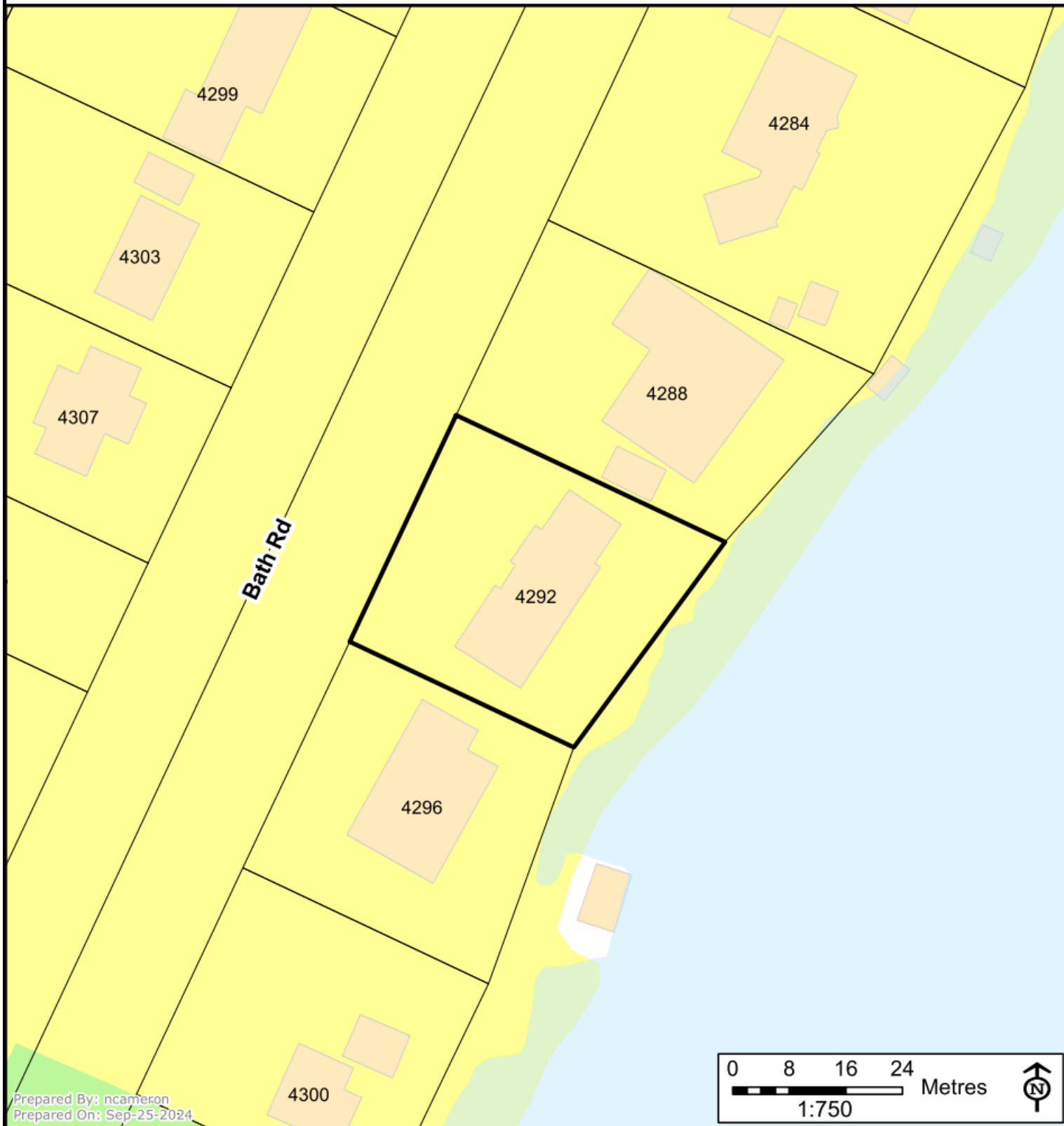


Planning Services

Committee of Adjustment Official Plan, Existing Land Use

Address: 4292 Bath Rd.
File Number: D13-074-2024
Prepared On: Sep-25-2024

- Subject Lands
- OPEN SPACE
- RESIDENTIAL



Prepared By: ncameron
Prepared On: Sep-25-2024

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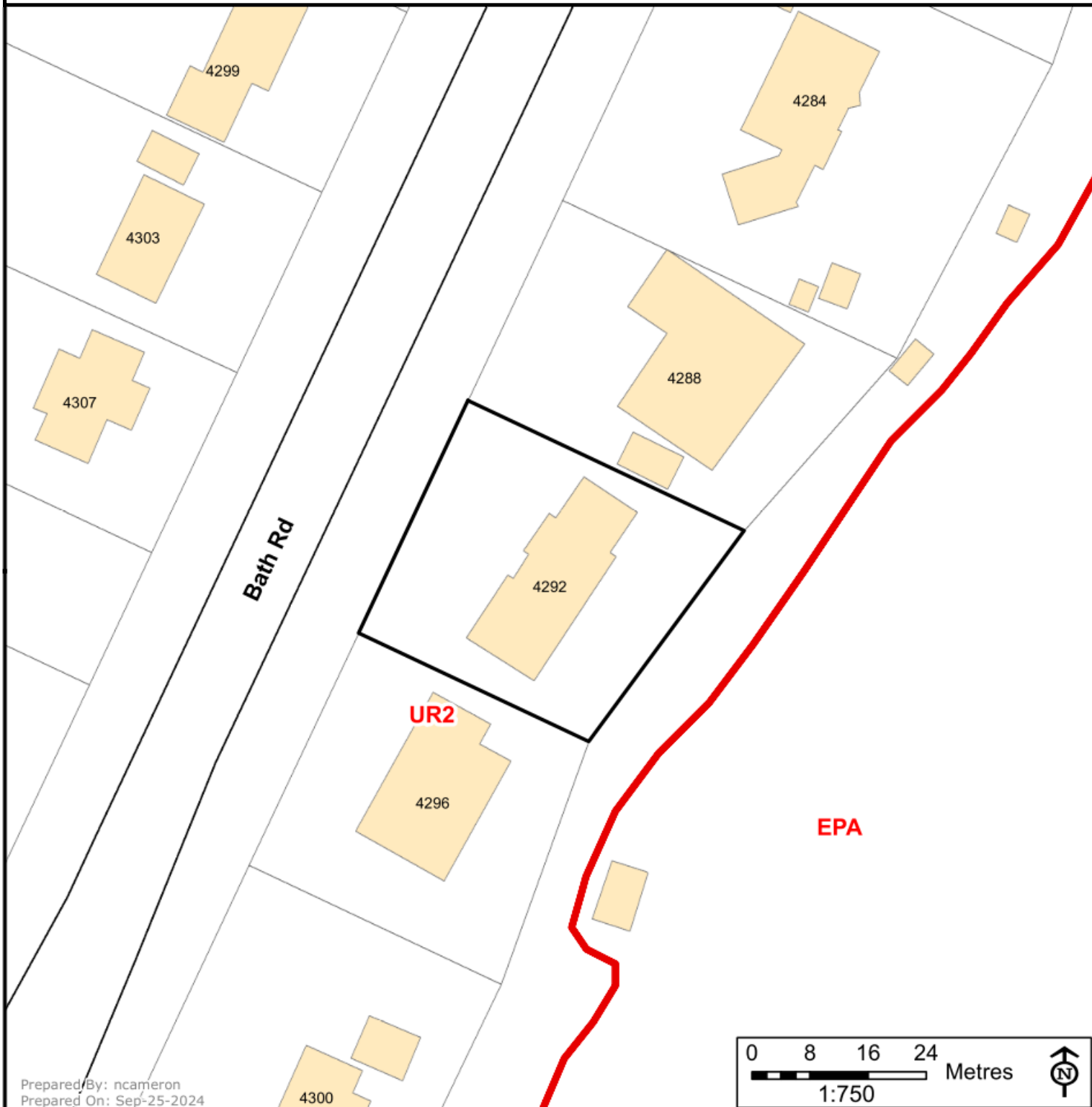
Planning Committee
Existing Zoning
Kingston Zoning By-Law 2022-62

Planning Services

Address: 4292 Bath Rd.
File Number: D13-074-2024
Prepared On: Sep-25-2024

Subject Lands
Schedule 1 Zoning Map
Zone

Schedule E - Exception Overlay
Legacy Exceptions (LXXX)
Exceptions (EXXX)
Schedule F - Holding Overlay
HoldingOverlay (HXXX)



Prepared By: ncameron
Prepared On: Sep-25-2024

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GENERAL NOTES:

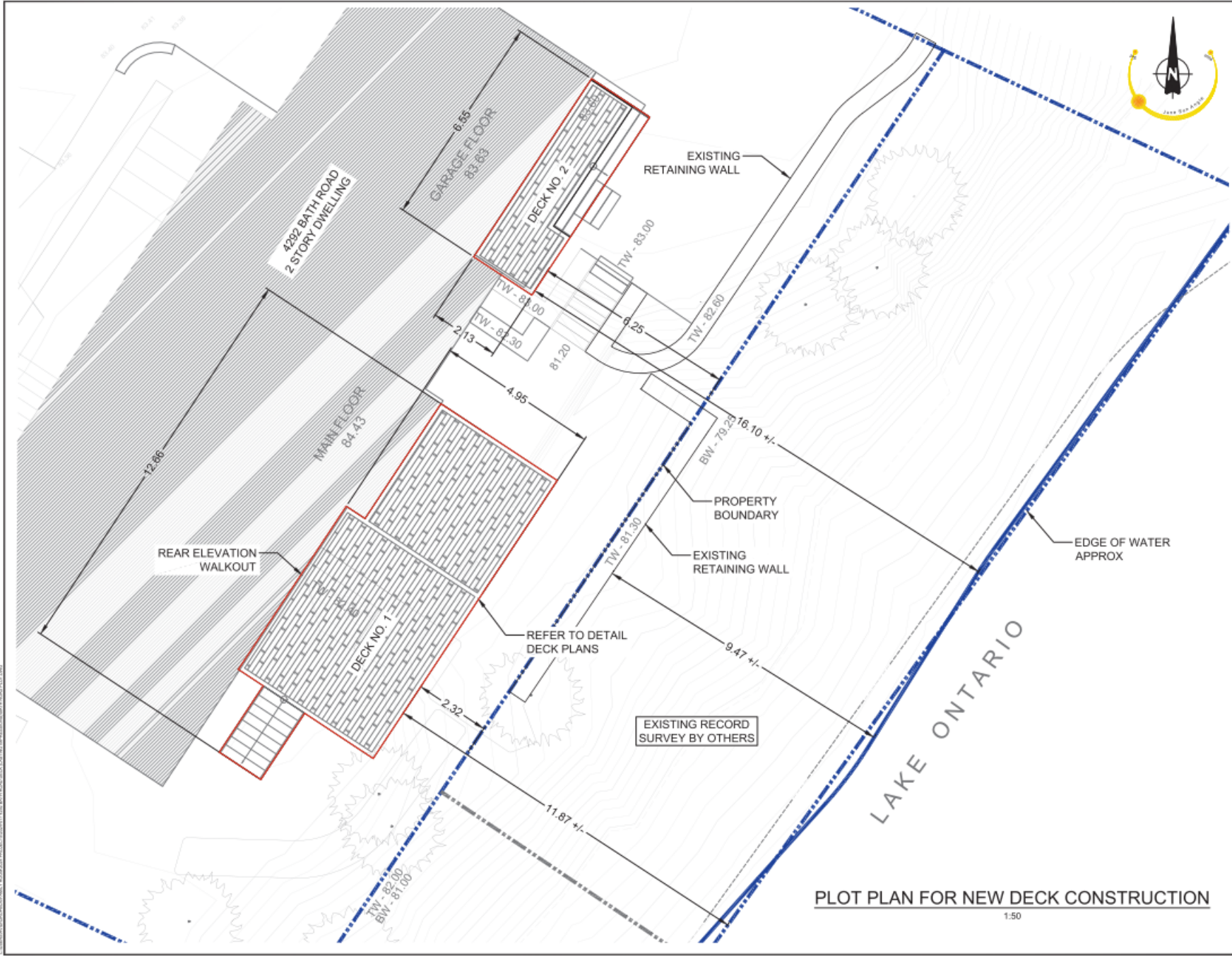
1. THE ORIGINAL TOPOGRAPHY AND GROUND ELEVATIONS, BENCHMARKS AND SURVEY DATA SHOWN ON THIS PLAN DRAWING IS PROVIDED FOR INFORMATION PURPOSES ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE ACCURACY OF ALL INFORMATION OBTAINED FROM THESE PLANS. ALL DIMENSIONS AND INVERTS MUST BE VERIFIED PRIOR TO CONSTRUCTION. IF THERE IS ANY DISCREPANCY THE CONTRACTOR IS TO NOTIFY THE ENGINEER.
2. POSITIVE DRAINAGE TO BE ENSURED FOR FINAL GRADE AND DURING CONSTRUCTION. IN NO CASE SHOULD GRADE BE DIRECTED TOWARDS THE FOUNDATION OF THE DWELLING.
3. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXACT LOCATION, SIZE, MATERIAL, AND ELEVATIONS OF ALL EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION. PROTECT AND ASSUME ALL RESPONSIBILITY FOR EXISTING UTILITIES WHETHER OR NOT SHOWN ON THE DRAWINGS. IF THERE ARE ANY DISCREPANCIES THE CONTRACTOR IS TO NOTIFY THE ENGINEER. ANY UTILITIES THAT MAY EXIST ON SITE MUST BE LOCATED AND VERIFIED BY ITS OWNER.
4. ALL UNDERGROUND SERVICES, MATERIALS, AND INSTALLATIONS TO BE IN ACCORDANCE WITH ONTARIO PROVINCIAL STANDARDS AND SPECIFICATIONS (OPS), UNLESS OTHERWISE NOTED.
5. THE CONTRACTOR IS RESPONSIBLE FOR ALL LAYOUT FOR CONSTRUCTION PURPOSES.
6. THE CONTRACTOR IS TO OBTAIN ALL NECESSARY PERMITS FROM THE COUNTY, MUNICIPALITY, CONSERVATION AUTHORITY, HEALTH UNIT AND ALL OTHER APPLICABLE REGULATORY AUTHORITIES HAVING JURISDICTION PRIOR TO COMMENCING CONSTRUCTION.
7. EXCAVATE AND DISPOSE OF ALL EXCESS EXCAVATED MATERIAL, SUCH AS ASPHALT, CURBING AND DEBRIS, OFF SITE TO THE SATISFACTION OF THE ENGINEER AND THE COUNTY, MUNICIPALITY OR CONSERVATION AUTHORITY.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SAFETY MEASURES DURING THE CONSTRUCTION PERIOD, INCLUDING THE SUPPLY, INSTALLATION, AND REMOVAL OF ALL NECESSARY SIGNAGE.
9. ALL DIMENSIONS AND INVERTS MUST BE VERIFIED BEFORE CONSTRUCTION. IF THERE IS ANY DISCREPANCY THE CONTRACTOR MUST NOTIFY THE ENGINEER.
10. GRANULAR 'A' AND GRANULAR 'B' TO BE COMPACTED TO 98% SPD UNLESS NOTED OTHERWISE.

ENVIRONMENTAL:

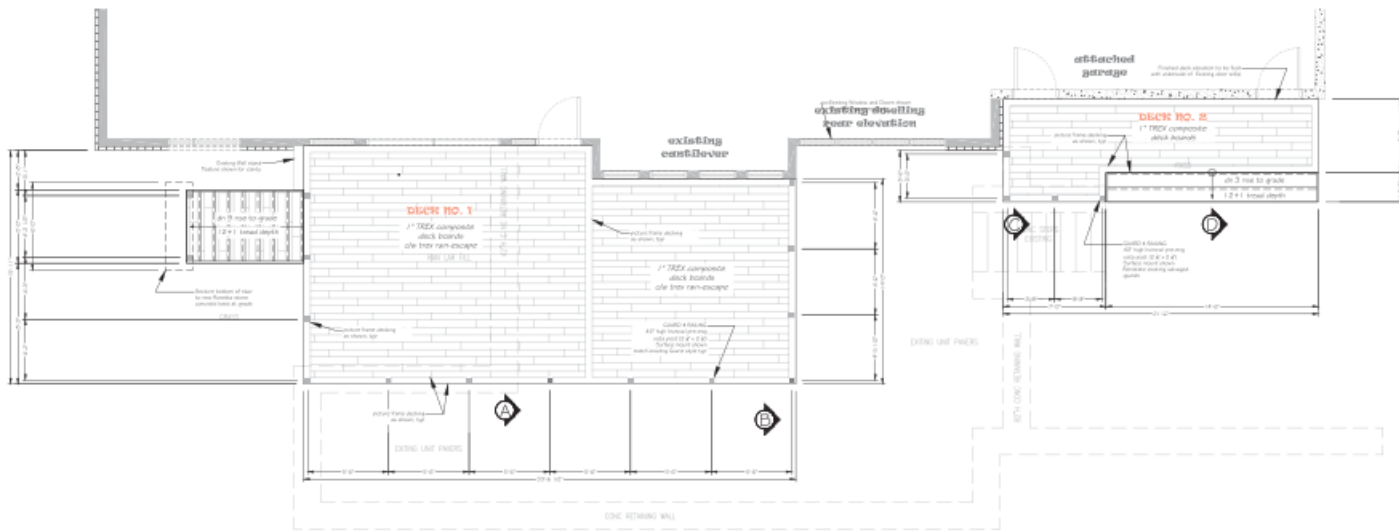
1. EROSION AND SEDIMENT CONTROLS SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND MONITORED AND MAINTAINED BY THE CONTRACTOR UNTIL COMPLETION. THE TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES MUST BE REMOVED ONCE THE SITE HAS BEEN STABILIZED AND SITE WORKS COMPLETED.
2. IN THE EVENT THAT HUMAN REMAINS ARE ENCOUNTERED DURING CONSTRUCTION, THE MINISTRY OF CITIZENSHIP, CULTURE AND RECREATION SHALL BE NOTIFIED IMMEDIATELY AND THE REGISTRAR OR DEPUTY REGISTRAR OF THE CEMETERY REGULATION UNIT OF THE MINISTRY OF CONSUMER AND COMMERCIAL RELATIONS (416) 362-8396, SHALL BE NOTIFIED IMMEDIATELY.
3. IN THE EVENT THAT BURIED ARCHAEOLOGICAL REMAINS ARE FOUND DURING CONSTRUCTION ACTIVITIES, THE MINISTRY OF CITIZENSHIP, CULTURE AND RECREATION SHALL BE NOTIFIED IMMEDIATELY.

SITE CONTROL:

THE TOPOGRAPHIC SKETCH SHOWN ON PLANS REPRESENTS THE EXISTING CONDITIONS AND WAS COMPLETED BY THE ORDER CALL ONLY GROUP INC. THEIR SURVEY IS PRESUMED GEODETIC, UTM NAD 83. SITE STAKING, LAYOUT AND CONTROL BY OTHERS.



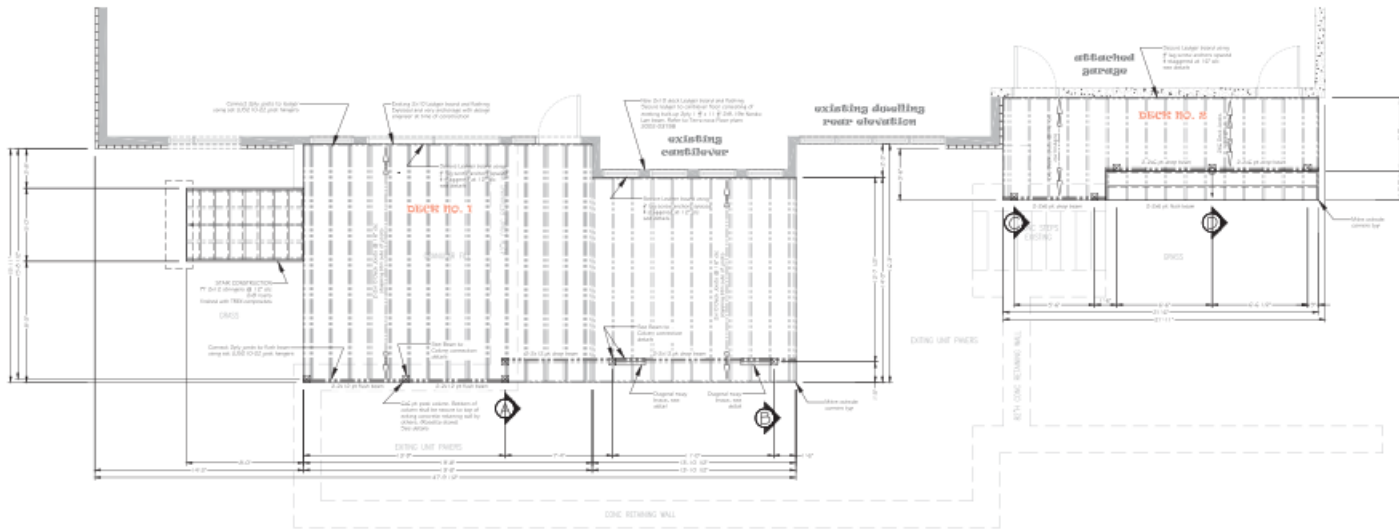
NO.	DATE	BY	REVISION	
<p>THESE DRAWINGS AND ANY INFORMATION CONTAINED HEREIN ARE THE PROPERTY OF AVIDITY DESIGNS INC. AND ARE TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED IN THESE DRAWINGS. ANY REUSE OR MODIFICATION OF THESE DRAWINGS WITHOUT THE WRITTEN PERMISSION OF AVIDITY DESIGNS INC. IS PROHIBITED. © 2024 AVIDITY DESIGNS INC.</p>				
<p>4292 BATH ROAD DECK DESIGN CITY OF KINGSTON, ONTARIO DECK PLOT REFERENCE</p>				
FILE NO.		DRAWING NO.		
		SHEET 01 OF 01		



waterfront elevation

DECK FINISH PLANS

1/8"=1'-0"



waterfront elevation

DECK FRAMING PLANS

1/8"=1'-0"

DESIGN CRITERIA

all construction and building practices to comply with the most current addition of the Ontario Building Code (O.B.C.), along to be completed using best engineering practices, comply with all of provisions of existing zoning by-law or subdivision agreement as they relate to the property.

GENERAL NOTES

do not scale drawings
features of construction not fully shown shall be of the same character as shown for similar conditions.
all dimensions and specifications must be reviewed by contractor/builder prior to construction, any errors or omissions shall be corrected prior to starting work, unless otherwise noted, plan dimensions are shown in fractions (imperial)
all work shall be carried out in accordance with the occupational health and safety act (o.h.s.a.)

GEO-TECHNICAL DESIGN

foundations are assumed to bear directly on sound bedrock or undisturbed outside soil-grade with a 100 kpa (2250 psf) bearing pressure capacity

if determined necessary, contractor shall be responsible for review and verification of native sub-grade with a qualified geo-technical representative

FRAMING

all framing construction shall be completed in accordance with o.b.c. part 9.23 (wood-frame construction) and o.b.c. part 9.27 (concrete)
use pressure treated wood framing supported on concrete in contact with the ground to be separated from the concrete with polyethylene film, not less than 2" in thick
anchor bolts anchoring all plate to top of foundation wall to be not less than 1/2" dia. at 60° max

CONCRETE AND MASONRY

concrete materials, mixing, placing, curing and form work shall be in accordance with o.c.a. standard cm3-a23.1
unless specified otherwise, the concrete compressive strength at 28 days shall be min 20 mpa
unless otherwise shown, garage and exterior concrete slabs shall be sloped from building with a slope not less than 1/20% or (1/8" per 1'00")

STAIRS AND RAILINGS

all stair and railing construction to be construction as per o.b.c. section 9.5

handrail shall be provided on 2 sides of stair 37" (100mm) in width or greater, at least one required handrail shall be continuous throughout the length of the stair
if the elevation difference between the top of porch/slab and grade immediately below is equal to or greater than 2'-0", then protect with railing/guards
railings complete with guards shall be not less than 36" (1070mm) high, opening in guards shall be of a size that will prevent the passage of a spherical object having a diameter of 100mm
handrail and any building element that could be used as handrail shall be designed and attached in such a manner to resist:
• a concentrated load at any point of not less than 0.5kn (202lbs)
• a uniformly distributed load of 0.75kn (465lbs/ft)

ELECTRICAL

all electrical work shall be installed as per the ontario electrical safety code, 2012 (o.e.s.c.)

locations of all electrical receptacles, switches and lights to be confirmed with owner

WALL PLAN LEGEND

- framed insulated wall 2x6 framed 6" with sheathing
- framed non-insulated wall 2x6 framed
- framed interior load bearing wall
- insulated concrete form (ICF)
- concrete foundation wall
- masonry stone / brick facade
- features below
- features above
- Fire 4 Sound separation Assembly
- built-in casework by others
- guards 4 railing, all types
- structural beam support, all types

ELECTRICAL PLAN LEGEND

- ceiling mount exhaust fan
 - electrical panel
 - 20" and smoke alarm (strobe)
 - common switch
 - 3 way switch
 - recessed pot light
 - hanging pendant fixture
 - wall sconce fixture
 - ceiling mount fixture
 - ceiling repair fixture, multi-light
 - shop light
 - ceiling fan
 - 1 10 receptacle outlet
 - 220 receptacle outlet
 - 1 10 gfi receptacle outlet
 - 1 10 receptacle outlet, exterior
 - 220 receptacle outlet, exterior
- diagonal materials shall provide lightning collars and wall mounted fixture controls for all long and utility corridors as per abc 9.34.2.2

NO.	DATE	BY	REVISION
1	2024.05.20	SR	ISSUED FOR PERMIT

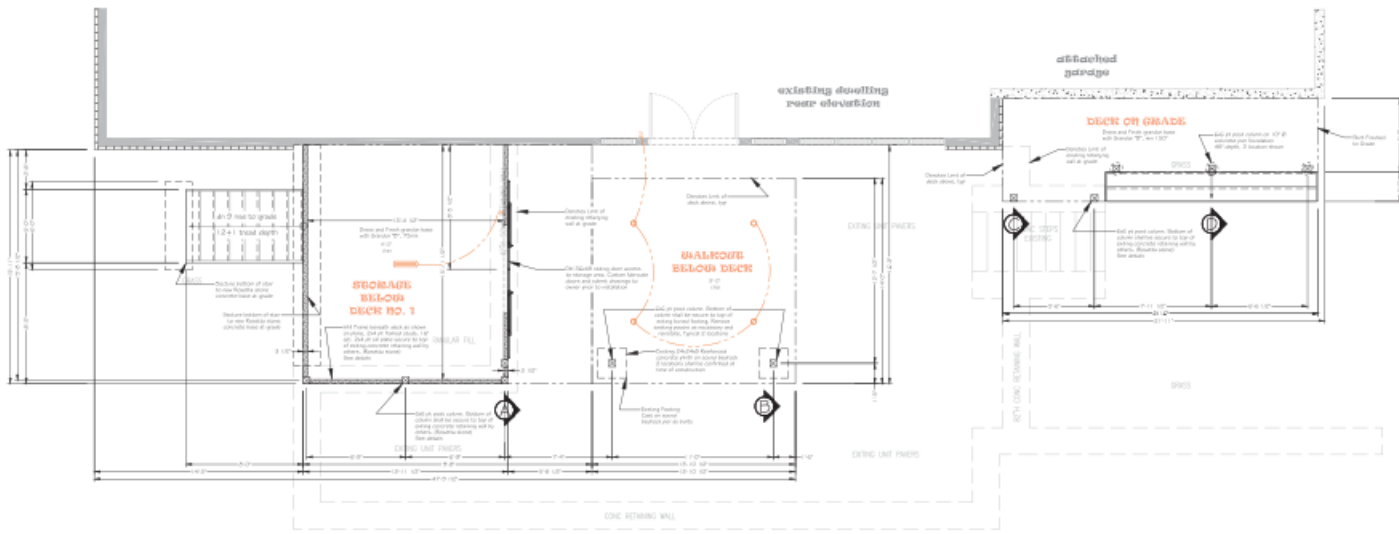
DESIGN	S.R.
DRAWN	S.R.
SCALE	AS SHOWN



4292 BATH ROAD DECK DESIGN
CITY OF KINGSTON, ON
MAIN FLOOR PLAN LAYOUTS

FILE NO.	DRAWING NO.
	SHEET 1 of 3

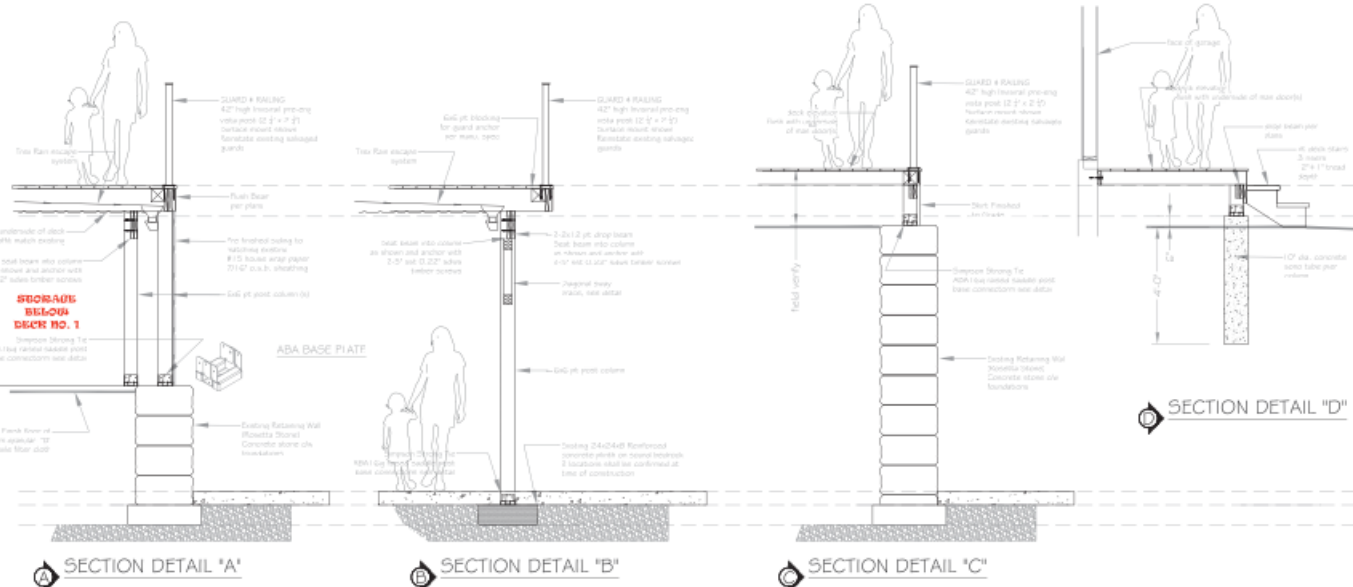
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waterfront elevation

WALKOUT GRADE PLANS

1/8"=1'-0"



DESIGN CRITERIA

all construction and building practices to comply with the most current addition of the Ontario Building Code (O.B.C.), design to be completed using best engineering practices, comply with all of provisions of existing zoning by-law or subdivision agreement as they relate to the property.

GENERAL NOTES

do not scale drawings
features of construction not fully shown shall be of the same character as shown for similar conditions.
all dimensions and specifications must be reviewed by contractor/builder prior to construction, any errors or omissions shall be corrected prior to starting work, unless otherwise noted, plan dimensions are shown in fractions (inches)

all work shall be carried out in accordance with the occupational health and safety act (o.h.s.a.)

GEO-TECHNICAL DESIGN

foundations are assumed to bear directly on sound bedrock or undisturbed outside sub-grade with a 100 lps (2050 psf) bearing pressure capacity

if determined necessary, contractor shall be responsible for review and verification of native sub-grade with a qualified geo-technical representative

FRAMING

all framing construction shall be completed in accordance with o.b.c. part 9.2.3 (wood-frame construction) and o.b.c. part 9.2.7 (cladding)

use pressure treated wood framing supported on concrete in contact with the ground to be separated from the concrete with polyethylene film, not less than 2 mil thick

anchor bolts anchoring all joist to top of foundation wall to be not less than 1/2" dia. at 600 mm
with the exception of pressure treated wood, all other exposed exterior lumber shall be sealed and protected from moisture and termites

CONCRETE AND MASONRY

concrete materials, mixing, placing, curing and form work shall be in accordance with c.o.a. standard cm3-a23.1

unless specified otherwise, the concrete compressive strength at 28 days shall be min 20 mpa

unless otherwise shown, garage and exterior concrete slabs shall be sloped from building with a slope not less than 1/80% or (1/8" per 1'00")

STAIRS AND RAILINGS

all stair and railing construction to be construction as per o.b.c. section 9.5

handrails shall be provided on 2 sides of stair 37"(1'000mm) in width or greater; at least one required handrail shall be continuous throughout the length of the stair

if the elevation difference between the top of porch-slab and grade immediately below is equal to or greater than 2'-0", then protect with railing / guards

railings complete with guards shall be not less than 36" (1070mm) high, opening in guards shall be of a size that will prevent the passage of a spherical object having a diameter of 100mm

handrails and any holding element that could be used as handrail shall be designed and attached in such a manner to resist:

- a concentrated load at any point of not less than 0.5kn (202 lbs)
- a uniformly distributed load of 0.7kn (160 lbs/ft)

ELECTRICAL

all electrical work shall be installed as per the ontario electrical safety code, 2012 (o.s.c.)

locations of all electrical receptacles, switches and lights to be confirmed with owner

WALL PLAN LEGEND

- framed insulated wall 2x6 framed 4" with sheathing
- framed non-insulated wall 2x4 framed
- framed partial height wall
- framed interior load bearing wall
- insulated concrete form (icf)
- concrete foundation wall
- masonry stone / brick facade
- features below
- features above
- Fire 4 Sound separation Assembly
- built-in cabinetry by others
- guards 4 railing, all types
- structural beam support, all types

ELECTRICAL PLAN LEGEND

- ceiling mount exhaust fan
- electrical panel
- 20" and smoke alarm (strobe)
- common switch
- 3 way switch
- recessed pot light
- hanging pendant fixture
- wall sconce fixture
- double wall sconce fixture
- ceiling mount fixture
- ceiling repair fixture, multi-light
- shop light
- ceiling fan
- 1 10 receptacle outlet
- 220 receptacle outlet
- 1 10 gfi receptacle outlet
- 1 10 receptacle outlet, exterior
- 220 receptacle outlet, exterior

electrical materials shall provide lighting controls and wall mounted fixture controls for all living and utility corridors as per obc 9.34.2.2

NO.	DATE	BY	REVISION
1	2024-05-20	SR	ISSUED FOR PERMIT

DESIGN	S.R.
DRAWING	S.R.
SCALE	AS SHOWN

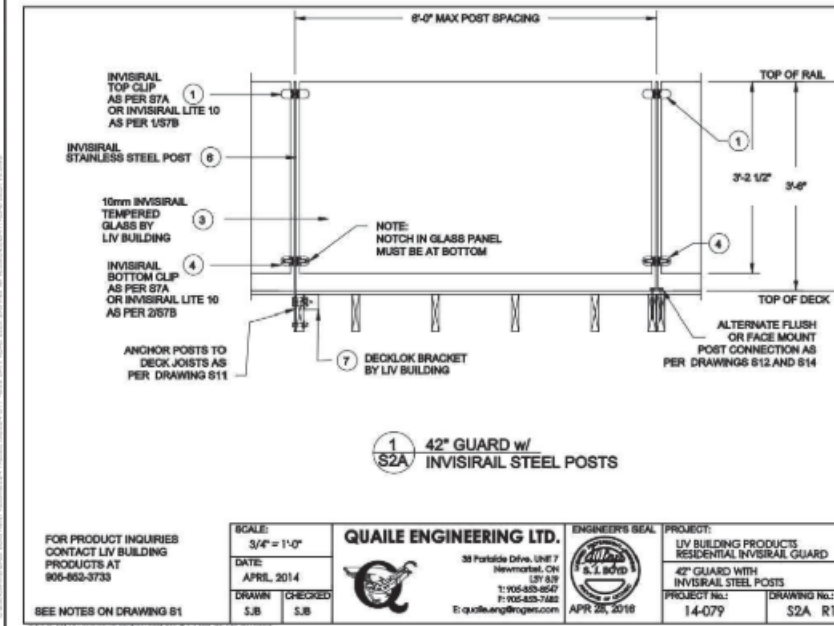
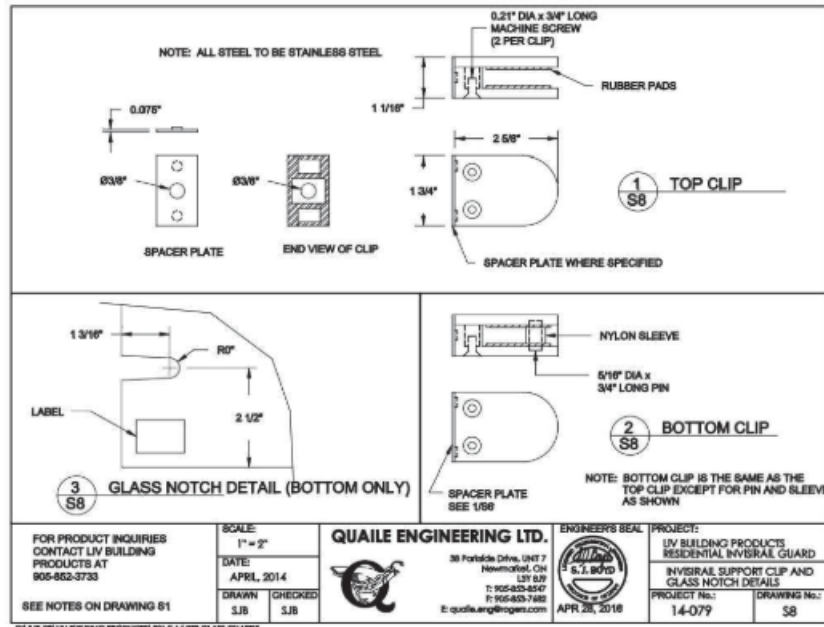
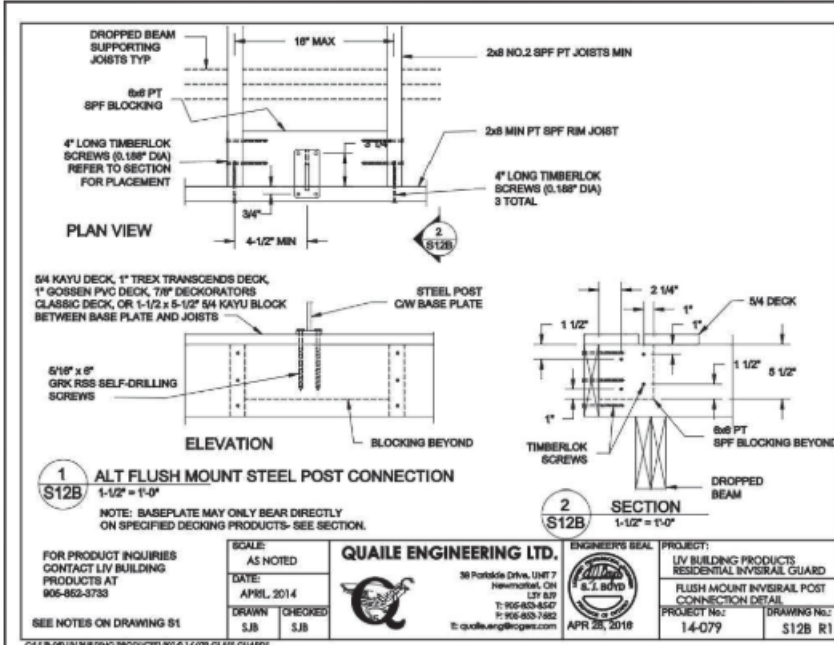


DAVIDITY DESIGNS
TECHNOLOGICAL PROFESSIONALS

4292 BATH ROAD DECK DESIGN
CITY OF KINGSTON, ON
FOUNDATION FLOOR PLAN

FILE NO.	DRAWING NO.
	SHEET 2 OF 3

DAVIS & ZHU WATERFRONT RESIDENCE



NO.	DATE	BY	REVISION
1	2014.05.20	SJB	ISSUED FOR PERMIT
DESIGN: S.R.			
DRAWN: S.R.			
SCALE: AS SHOWN			
4292 BATH ROAD DECK DESIGN CITY OF KINGSTON, ON PRE ENG GUARD SYSTEM			
FILE NO.	DRAWING NO.		
	SHEET 3 OF 3		

DAVIS & ZHU WATERFRONT RESIDENCE

4292 Bath Road—October 18, 2024



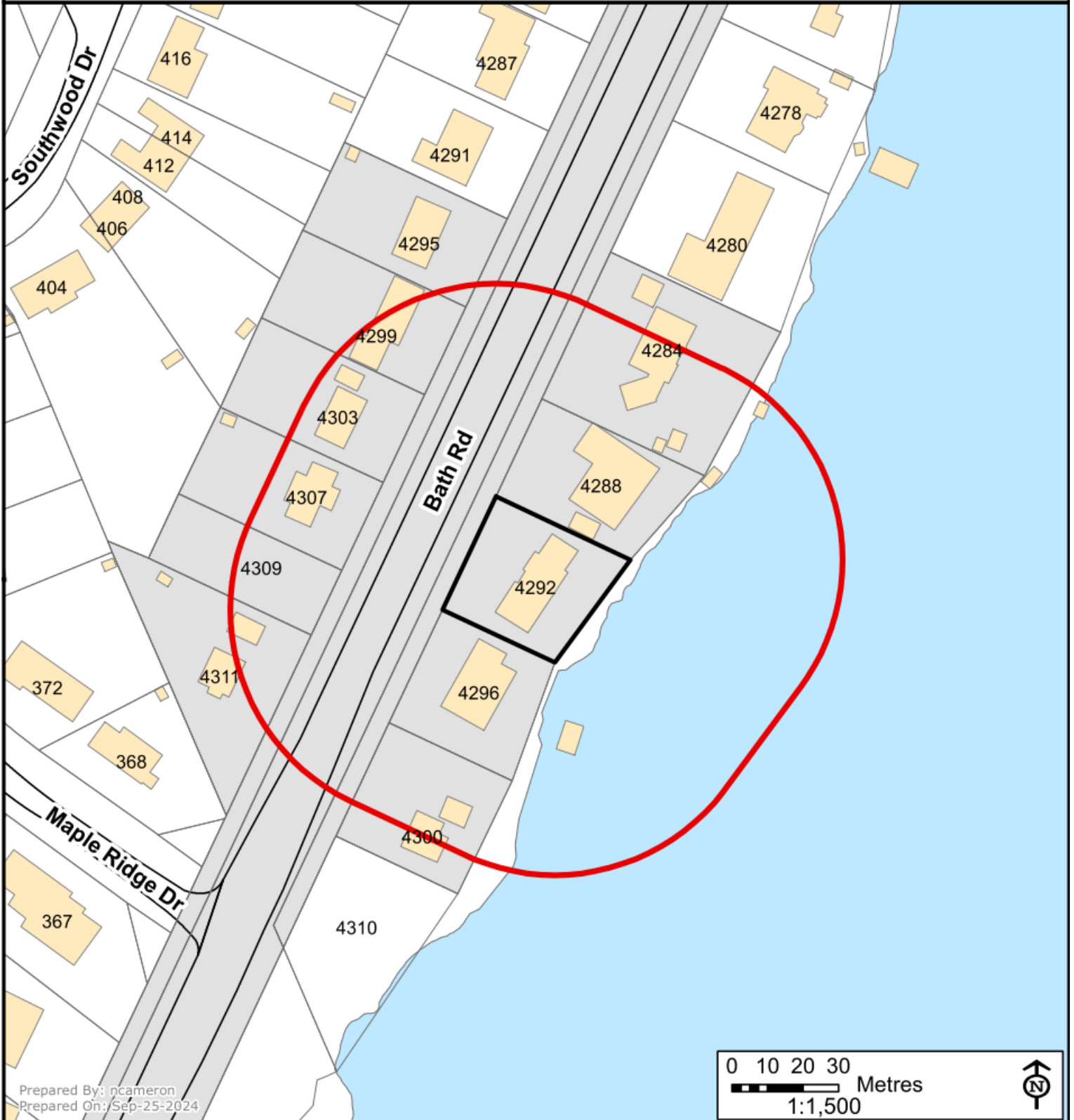
(West facing view of the proposed location of the Deck)



Committee of Adjustment Public Notice Notification Map

Address: 4292 Bath Rd.
File Number: D13-074-2024
Prepared On: Sep-25-2024

- 60m Public Notification Boundary
- Subject Lands
- Property Boundaries
- 13 Properties in Receipt of Notice (MPAC)



Prepared By: incameron
Prepared On: Sep-25-2024

