



City of Kingston Community Meeting Form

Note to Applicant: This Form is to be completed by the Applicant and is intended to provide a detailed description of the site, locational context and the proposed application as the basis for a Community Meeting at Planning Committee. The only supplementary information that will be provided by Staff for the Community Meeting is a map package (location, Official Plan, zoning, etc). Please keep residents and members of Planning Committee in mind when completing this form by ensuring that all information is thorough, detailed and understandable. Where a field is not applicable to the site or proposal, please indicate "N/A". Since this Form will be attached as an exhibit to a staff report, this Form must be completed in a manner that is accessible. Please refrain from using formatting or tables that are not accessible. If this form is completed in a manner that is not accessible, it may result in delays to the timing of the Community Meeting and may require staff to make amendments or adjustments prior to attaching the form as an exhibit to a staff report.

Owner/Application Information

Owner: Tomlinson Environmental Services (TES)

Applicant (if Owner is not the Applicant):

Site Characteristics

Site address: 2081 Joyceville Road

Site area: 16.4 hectares

Description of existing use and buildings on site (height, floor area, units, bedrooms, parking spaces, setbacks, etc): The site currently contains a topsoil screening operation and a cell tower with existing access from Joyceville Road. No buildings are present on the site.

Official Plan designation: 'Rural Industrial'.

Zoning by-law (zone and other relevant schedules and overlays): Highway Commercial Exception (CH-3) and Restricted Rural (A1) in the Township of Pittsburgh Zoning By-law 32-74

Existing number of trees: 153 live trees

Number of existing trees to be retained: Unknown – concept plan is conceptual at this stage

Description of heritage status (not a heritage building, listed, designated or located in a heritage conservation district): N/A

Description of Surrounding Uses and Buildings

East: Rural lands containing significant woodland and a riparian corridor are located immediately adjacent the site and extend to the east where they are interspersed with agricultural fields.

West: To the west is Joyceville Road beyond which is a rural commercial use area containing the Kingston Husky/Esso Fuel Station and Rest Stop that provides services to trucks and other vehicles from Highway 401. Beyond this are rural and prime agricultural lands as well as environmental protection areas.

North: Immediately to the north of the subject lands is Provincial Highway 401. Immediately across the 401 are rural lands containing contributory woodland, beyond which are prime agricultural lands under production. There are a couple scattered rural residential homes along 4th Concession north of the 401, beyond 300 m from the subject lands.

South: Immediately to the south of the subject property is the existing TES Organics Facility. Further south are prime agricultural and rural lands containing significant woodlands and riparian corridors interspersed with agricultural fields.

Description of Proposal

Summary description of the proposal (use, height, floor area, setbacks, units, bedrooms, condominium, rental, affordability level, parking and bike spaces, will existing building or any existing features be retained/renovated/demolished etc.):

The overall vision for the proposed development is to establish appropriate policies to facilitate the development of a waste recycling and transfer facility, renewable natural gas (RNG) facility, and excess soils processing area on the vacant area of the lot, and maintain existing permissions for a gas station on the subject lands. Specific Site Plan details are not yet known.

Type of Application: Official Plan and Zoning By-law Amendment

Proposed use: Waste recycling and transfer facility, renewable natural gas (RNG) facility, and excess soils processing area (Waste Management use, but not a landfill)

Proposed number and type of residential units and bedrooms (if residential): N/A

Proposed gross floor area (of each use): Unknown – concept plan is conceptual at this stage

Proposed height: Unknown – concept plan is conceptual at this stage

Proposed setbacks: Unknown – concept plan is conceptual at this stage

Proposed number of vehicular parking spaces (include breakdown of occupant, visitor, car-share, accessible, etc): Unknown – concept plan is conceptual at this stage

Proposed number of bicycle parking spaces: Unknown – concept plan is conceptual at this stage

Proposed landscaped open space: Unknown – concept plan is conceptual at this stage

Proposed amenity area (if residential): N/A

Proposed number of trees to be planted: Unknown – concept plan is conceptual at this stage

Description of how the application conforms with the Official Plan: As identified in the City of Kingston Official Plan, the subject lands are designated Rural Industrial in the City of Kingston Official Plan. The applicant is seeking an Official Plan Amendment to redesignate the lands to Waste Management Industrial, to permit a waste recycling and transfer facility, with site-specific provision to permit an RNG facility and associated gasoline pumps, soil processing facility, and associated outdoor storage.

If located in an area that is subject to Official Plan policies related to source water, natural heritage system, natural heritage features and areas, hazards, cultural heritage resources, areas of archaeological potential, or areas of archaeological significance, description of how the proposal will conform with the policies:

- Sustainability Policies - promotes sustainability through operational practices that minimize waste and maximize re-use of resources and practices that conserve or recycle materials or other resources
- Rural Area Policies - supports the diversification of the rural economic base
- Land Use Compatibility
 - The proposed development will be effectively screened from Joyceville Road by berms and multi-leveled landscaping and appropriately setback from the property line and Environmental Protection Areas. As well, with consideration of Policy 2.7.5, the subject lands are well separated from nearby sensitive receptors (greater than 300 metres away from the closes residence).

- Environmental Compliance Approvals (ECAs) required for the waste recycling and transfer facility, RNG facility, and soils processing area will ensure that any levels of noise or odour are within Provincially acceptable limits, and that any adverse impacts on adjacent rural industrial or highway commercial uses, or environmental damage or degradation are minimized
- Natural Heritage System Policies – No development is proposed within the Environmental Protection Area. The EIS determined that with the incorporation of mitigation measures (outlined in Section 7 of the EIS report), no negative impacts are anticipated to identified natural heritage features or their ecological, candidate significant wildlife habitat, animal movement corridors, fish habitat, or species at risk.

Overall, the subject lands provide an appropriate location for the proposed uses given the proximity to a major transportation corridor (Highway 401), the presence of existing commercial and industrial uses adjacent to the site, and the limited presence of sensitive uses in the immediate area.

Description of amendment(s) required to the Zoning By-law: As identified in the Township of Pittsburgh Zoning By-law 32-74, the subject lands are zoned 'Highway Commercial Exception (CH-3)' and 'Restricted Rural (A1)'.

On April 26, 2022, Council passed the new City of Kingston Zoning By-Law Number 2022-62, which is intended to largely repeal and replace the City's existing zoning by-laws; this Zoning By-law is now in-effect. As approved by Council, Zoning By-Law 2022-62 would treat the subject lands as a hole not subject to the by-law. It is the City's intent that any future Zoning By-law Amendment application bring the lands into By-Law 2022-62.

A Zoning By-law Amendment is required to rezone the subject lands to Waste Management Zone (M5) with site-specific provisions to permit a waste recycling and transfer facility, RNG facility and associated gas pumps, soil-processing facility, and associated outdoor storage areas. As well, a site-specific prohibition will be introduced to prohibit a landfill on the subject lands. There is no intent to develop a landfill or a dump on the lands

Other information that would be valuable for a Community Meeting: N/A

List of Drawings/Studies Submitted

- Conceptual Site Plan, prepared by MHBC, dated June 30th, 2023;
- Conceptual Landscaping Plan, prepared by MHBC, dated April 2024;
- Stormwater Management Report & Plans, prepared by Groundworks, dated April 30th, 2024 and March 14th, 2024 respectively;
- Archaeological Assessment, prepared by Matrix Heritage, dated November 2022;
- Environmental Impact Assessment and OWES Evaluation, prepared by Gemtec, dated April 5, 2024;

- Tree Inventory Study, prepared by ETC Eco Tree Care Inc., dated November 17th, 2022;
- Traffic Impact Study, prepared by Castleglenn, dated April 26th, 2024;
- Hydrogeology Study and Assessment of Drinking Source Water Risks, prepared by Gemtec, dated March 15th, 2024;
- Legal survey with proposed road widening; and,
- Planning Justification Report, prepared by MHBC Planning, dated April 2024.

Community Meeting Form Prepared by: Chelsea Major & Neal DeRuyter, MHBC

Date: May 10th, 2024

By-Law Number 2024-XXX

**A By-Law To Amend The City Of Kingston Official Plan (Amendment Number ____,
2081 Joyceville Road)**

Passed: [Meeting Date]

Whereas a Public Meeting was held regarding this amendment on _____;

Now Therefore the Council of The Corporation of the City of Kingston, in accordance with the provisions of Section 17 of the *Planning Act*, R.S.O. 1990, c.P13, hereby enacts as follows:

1. The City of Kingston Official Plan is hereby amended by the following map change which shall constitute Amendment Number ____ to the Official Plan for the City of Kingston.
 - (a) Amend Schedule '3-C', 'Land Use', of the City of Kingston Official Plan, so as to change the designation of the property located at 2081 Joyceville Road, as shown on Schedule 'A' to By-Law Number 2024-XX, from 'Rural Industrial' to 'Waste Management Industrial'.
 - (b) **Amend** Schedule '3-D', 'Site Specific Policies', of the City of Kingston Official Plan, so as to designate the property located at 2081 Joyceville Road, as shown on Schedule 'A' to By-Law Number 2024-XX, as 'Site Specific Policy Area Number XX'.
2. Amend Section 3.17 by adding a new subsection 3.17.XX, as follows:

"2081 Joyceville Road, Schedule 3-D, SSP Number XX

3.17.XX That the Waste Management Industrial area identified on Schedule 3-D of this Plan as SSP Number XX, the following policies apply:

 - a. In addition to the permitted uses in the Waste Management Industrial designation, a gas station, an excess soil processing use and a renewable gas facility (biomass energy) shall also be permitted. A landfill site shall not be permitted."
 3. This by-law shall come into force and take effect on the day that is the day after the last day for filing an appeal pursuant to the *Planning Act*, provided that no Notice of Appeal is filed to this by-law in accordance with the provisions of Section 17, Subsection 24 of the *Planning Act*, as amended; and where one or more appeals have been filed within the time period specified, at the conclusion of which, the By-Law shall be deemed to have come into force and take effect on the day the appeals are withdrawn or dismissed, as the case may be.

Given all Three Readings and Passed: [Meeting date]

Janet Jaynes
City Clerk

Bryan Paterson
Mayor



Planning
Services

**Schedule 'A' to By-Law Number
Official Plan Amendment Number XX**

Address: 2081 Joyceville Road
File Number: D01-010-2024

**Official Plan Schedule 3-C
Site Specific Policy**



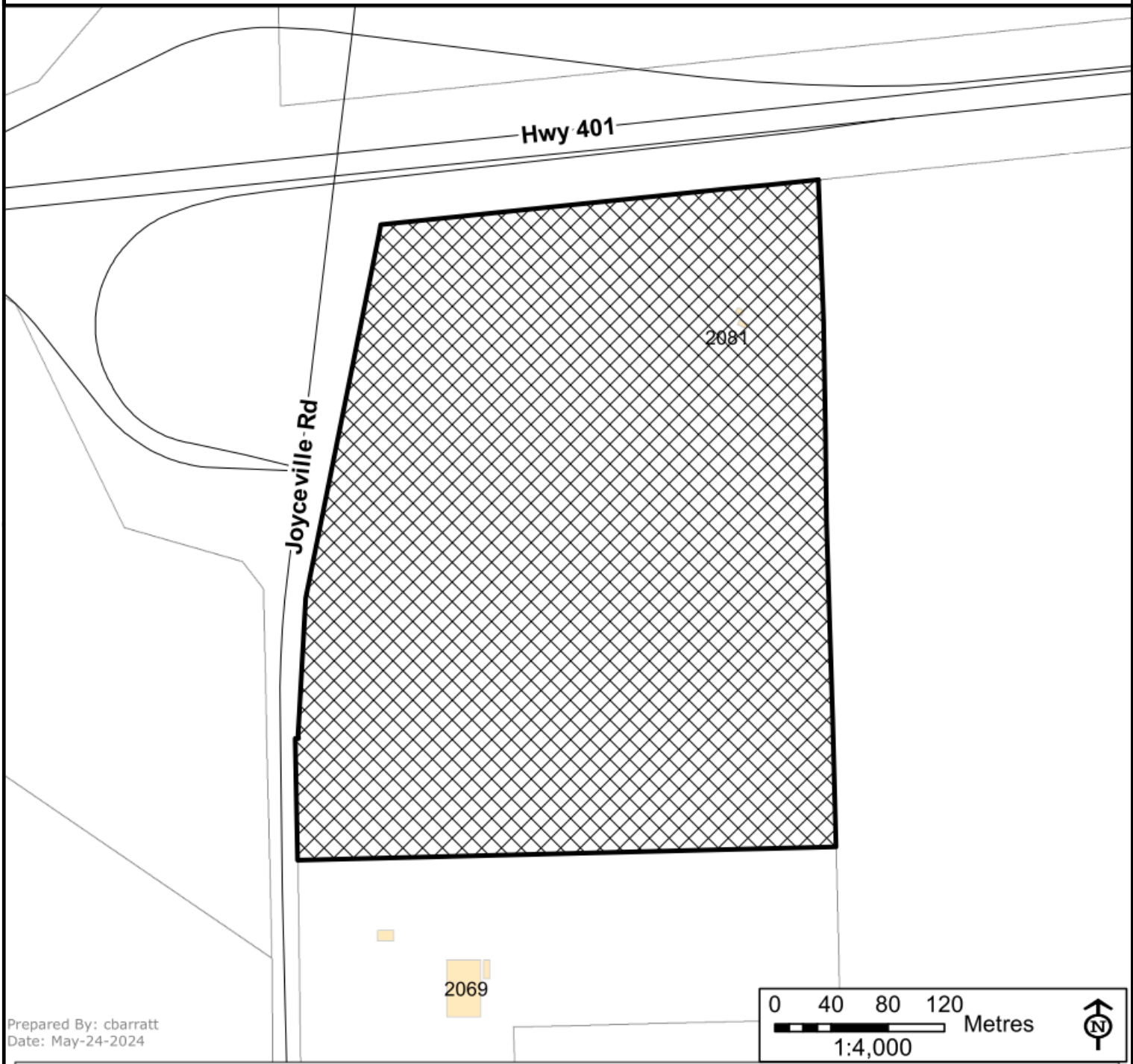
Lands to be redesignated from
Rural Industrial to Waste
Management Industrial with
Site Specific Exception

Certificate of Authentication

This is Schedule 'A' to By-Law Number ____, passed this ____ day of _____ 2024.

Mayor

Clerk



Prepared By: cbarratt
Date: May-24-2024

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By-Law Number 2024-XX

A By-Law to Amend By-law Number 2022-62, “Kingston Zoning By-law Number 2022-62” (Transfer of Lands into Kingston Zoning By-law and Introduction of Exception Number EXX, (2081 Joyceville Road))

Passed: [Meeting Date]

Whereas the Council of The Corporation of the City of Kingston enacted By-law Number 2022-62, “Kingston Zoning By-law Number 2022-62” (the “Kingston Zoning By-law”);

Whereas the subject lands are identified as “Not Subject to this By-law” on Schedule 1 of the Kingston Zoning By-law;

Whereas the Council of The Corporation of the City of Kingston deems it advisable to amend the Kingston Zoning By-law to incorporate the subject lands into the Kingston Zoning By-law and to introduce a new exception number;

Therefore be it resolved that the Council of The Corporation of the City of Kingston hereby enacts as follows:

1. By-law Number 2022-62 of The Corporation of the City of Kingston, entitled “Kingston Zoning By-law Number 2022-62”, is amended as follows:
 - 1.1. Schedule 1 – Zoning Map is amended by removing reference to “Not Subject to this By-law”, and by adding the zone symbol ‘M5’, as shown on Schedule “A” attached to and forming part of this By-Law.
 - 1.2. Schedule E – Exception Overlay is amended by adding Exception Number EXX, as shown on Schedule “B” attached to and forming part of this By-Law.
 - 1.3. By adding the following Exception Number EXX in Section 21 – Exceptions, as follows:

“**EXX.** Despite anything to the contrary in this By-Law, the following provisions apply to the lands subject to this Exception:

 - (a) In addition to the uses permitted by the applicable Zone, the following uses are permitted:

- (i) **Gas station;**
 - (ii) Excess soil processing use;
 - (iii) Renewable natural gas facility including related gasoline pumps;
and,
 - (iv) **Public use”**
2. The lands shown on Schedule “A” attached to and forming part of this By-Law are incorporated into the Kingston Zoning By-law and the provisions of City of Kingston By-Law Number 32-74, entitled "Township of Pittsburgh Zoning By-Law", as amended, no longer apply to the lands.
3. This By-Law shall come into force in accordance with the provisions of the *Planning Act*.

Given all Three Readings and Passed: [Meeting Date]

Janet Jaynes
City Clerk

Bryan Paterson
Mayor



**Schedule 'A'
to By-Law Number**

Address: 2081 Joyceville Road
File Number: D01-010-2024

**Kingston Zoning By-Law 2022-62
Schedule 1 - Zoning Map**

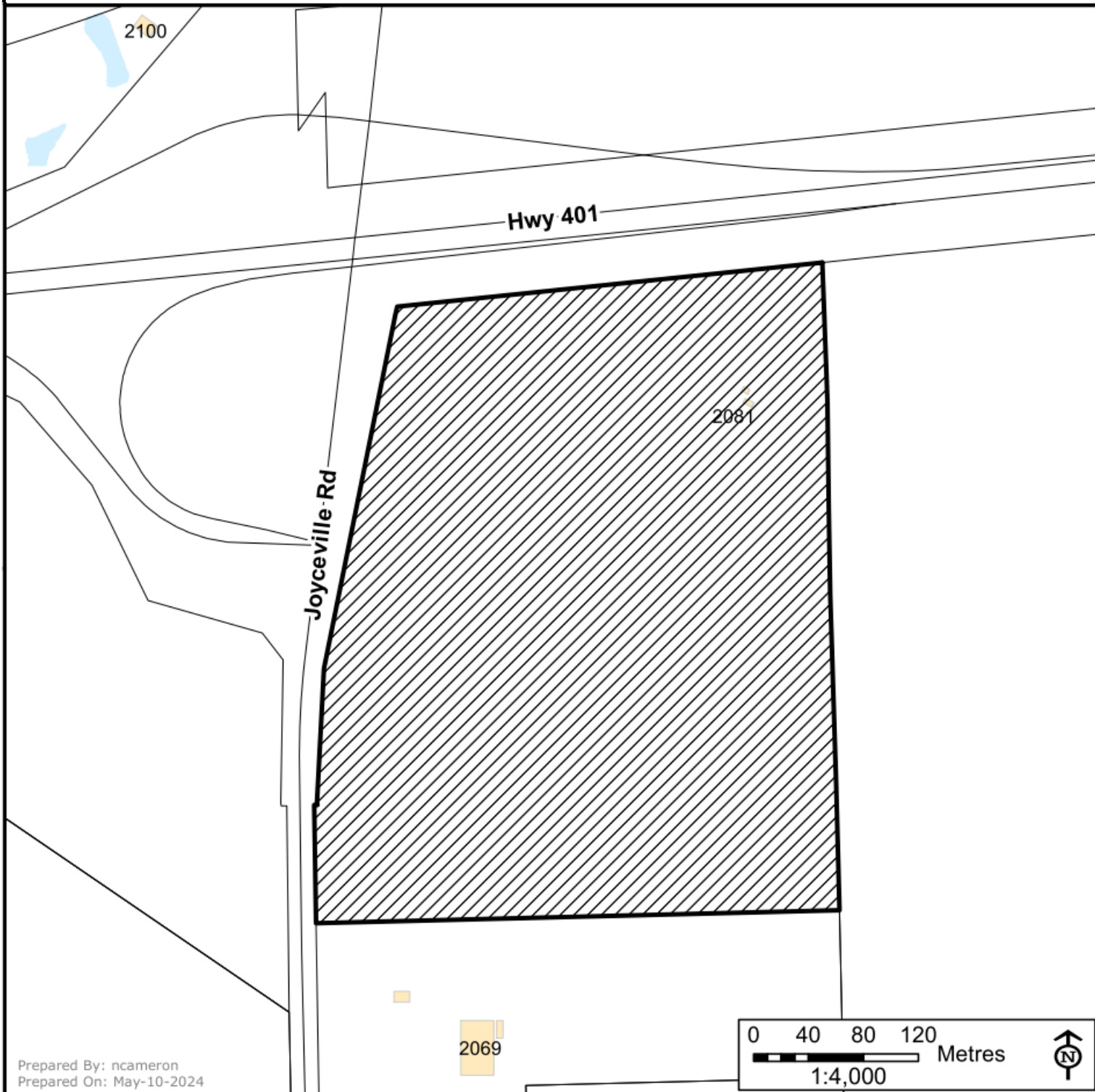
 Lands to be Rezoned From NA to M5

Certificate of Authentication

This is Schedule 'A' to By-Law Number _____, passed this _____ day of _____ 202_.

Mayor

Clerk



Prepared By: ncameron
Prepared On: May-10-2024

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**Schedule 'B'
to By-Law Number**

Address: 2081 Joyceville Road
File Number: D01-010-2024

**Kingston Zoning By-Law 2022-62
Schedule E - Exception Overlay**

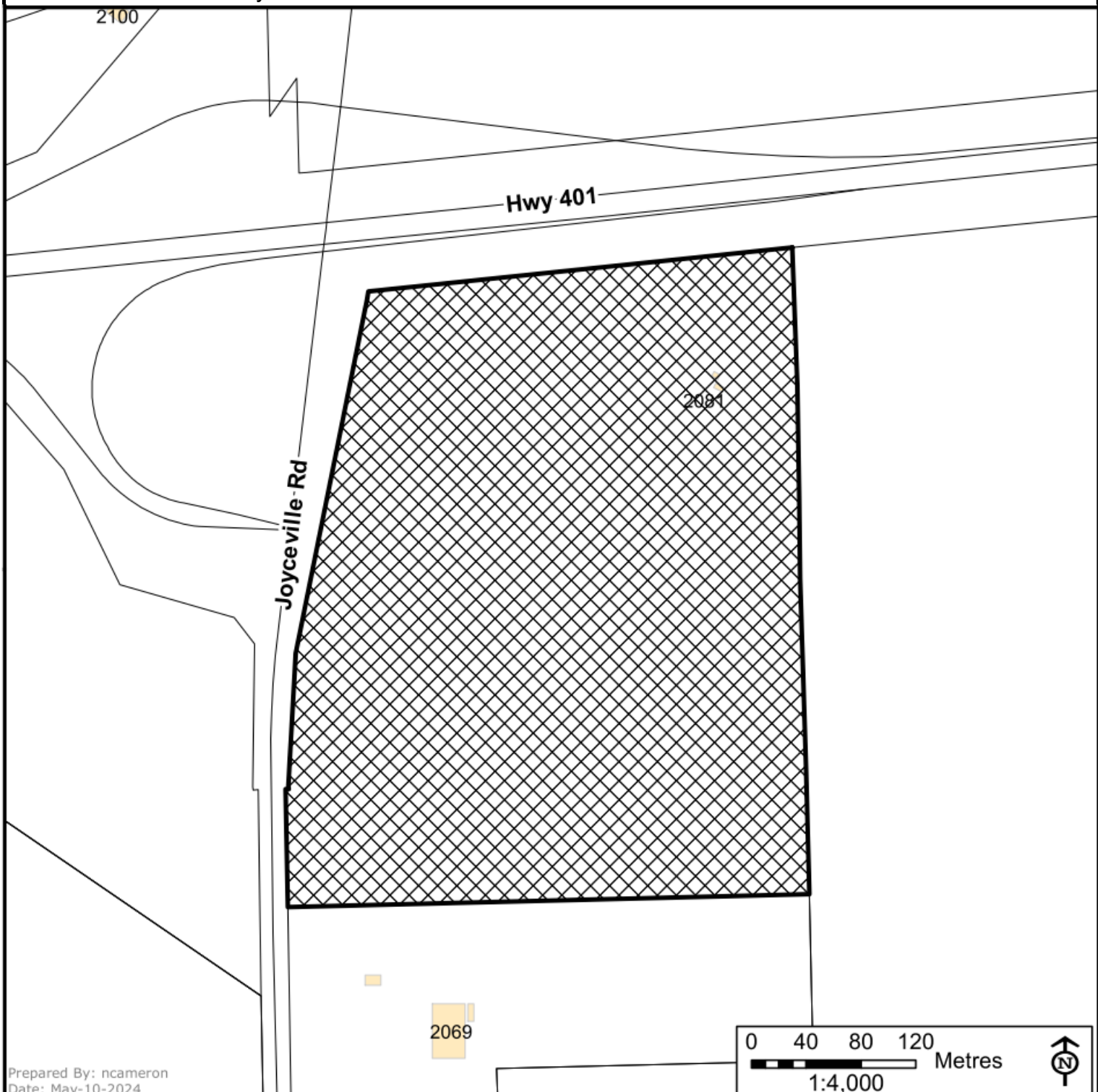
Lands to be added as EXXX

**Planning
Services**

Certificate of Authentication


This is Schedule 'B' to By-Law Number _____, passed this _____ day of _____ 202_.

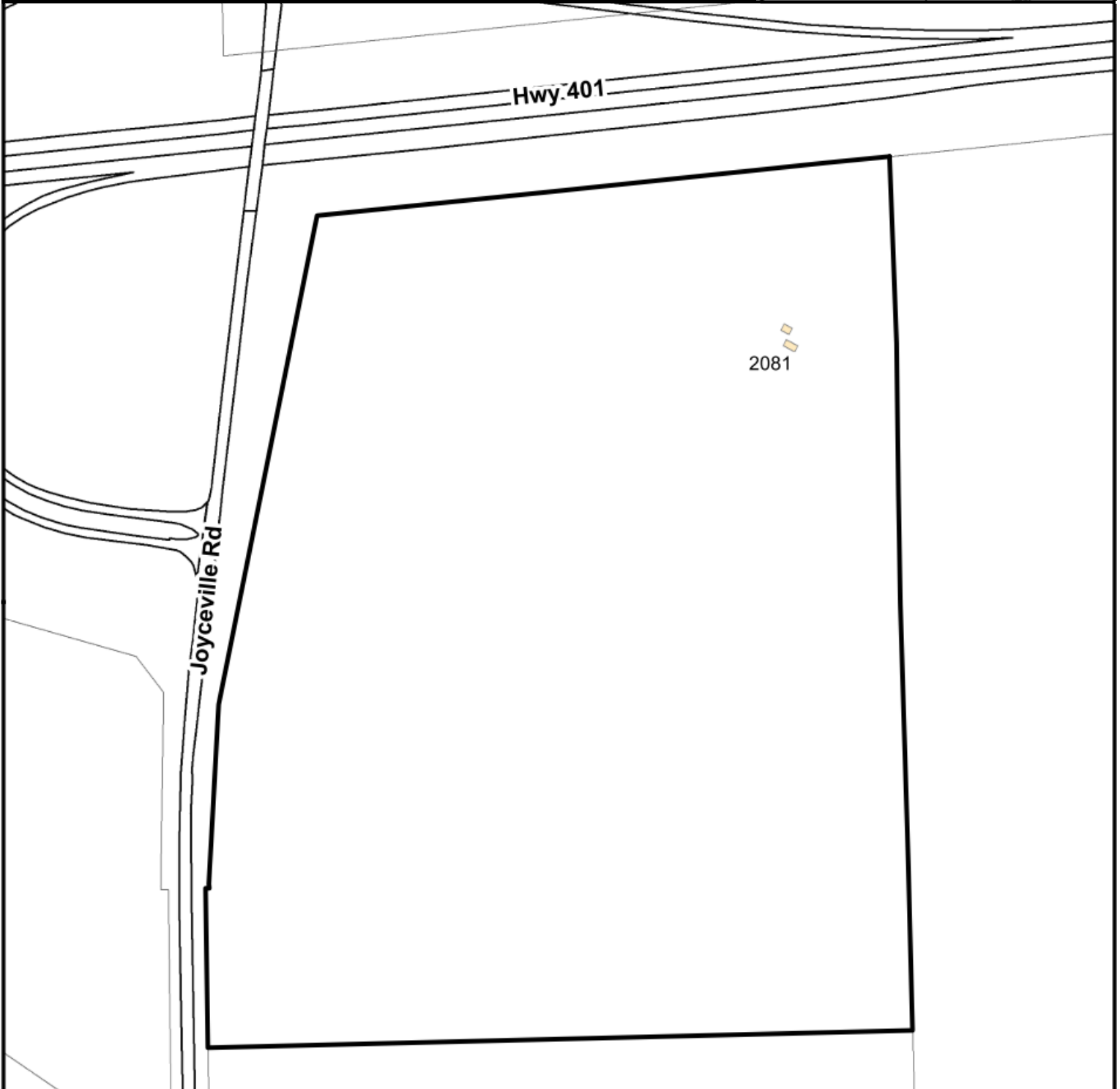
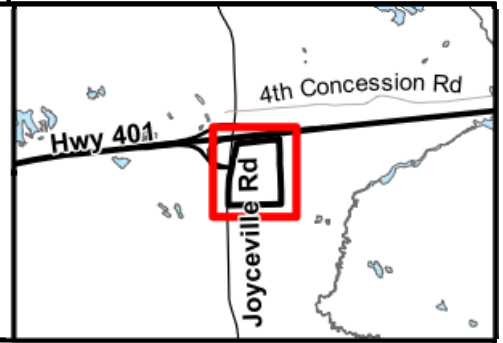
Mayor Clerk



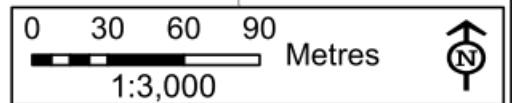
Prepared By: ncameron
Date: May-10-2024



City of Kingston
Key Map
Address: 2081 Joyceville Road
File Number: D01-010-2024
Prepared On: May-10-2024
 Subject Lands



Prepared By: cbarratt
Prepared On: May-10-2024





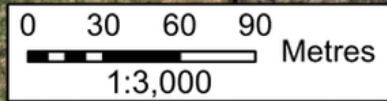
City of Kingston
Neighbourhood Context

Address: 2081 Joyceville Road
File Number: D01-010-2024
Prepared On: May-10-2024

- Subject Lands
- Property Boundaries
- Proposed Parcels



Prepared By: cbaratt
Prepared On: May-10-2024



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Planning Services

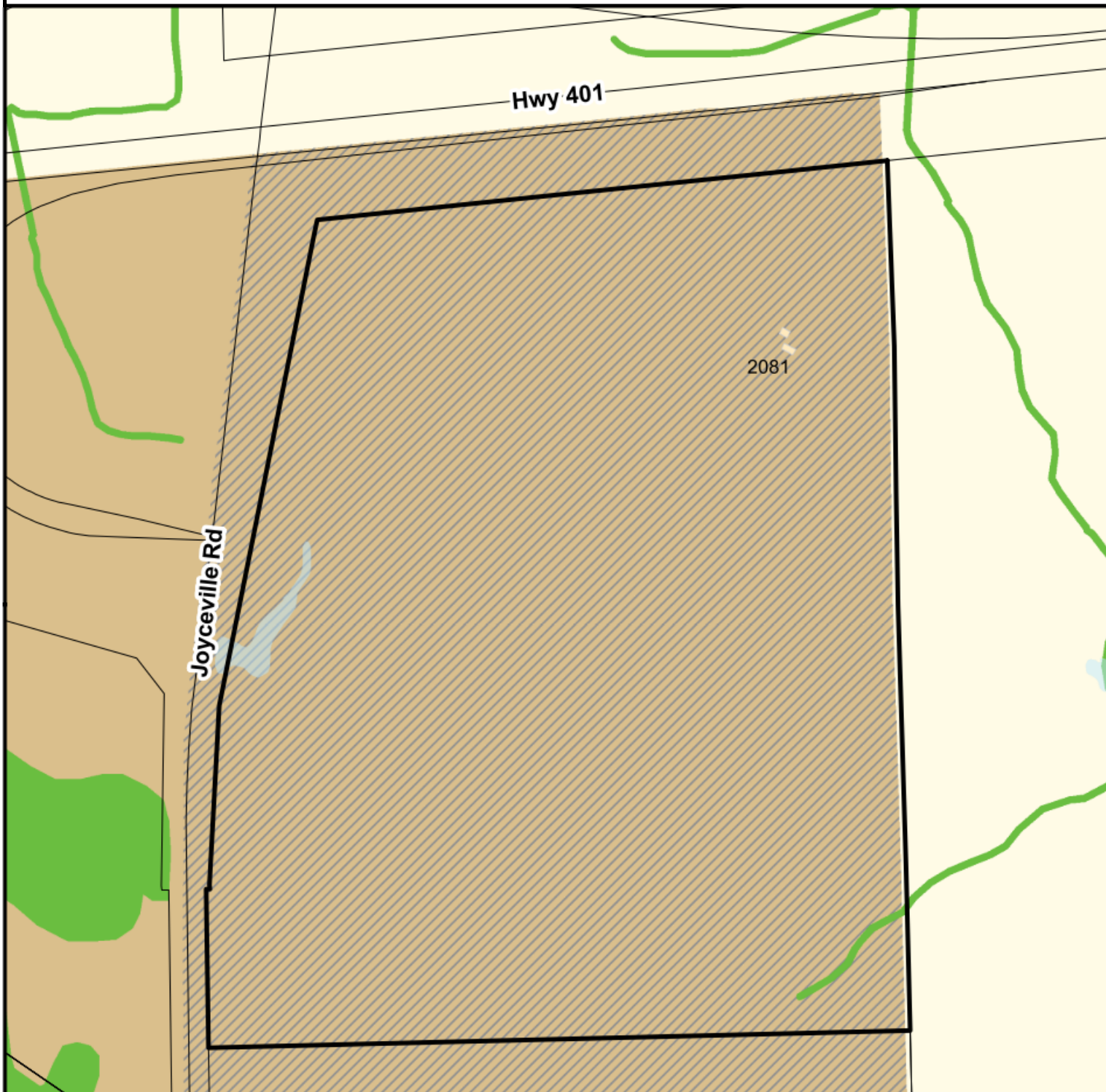
City of Kingston Official Plan, Existing Land Use

Address: 2081 Joyceville Road

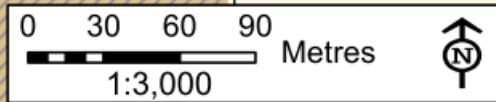
File Number: D01-010-2024

Prepared On: May-10-2024

-  Subject Lands
-  ENVIRONMENTAL PROTECTION AREA
-  RURAL
-  RURAL COMMERCIAL
-  RURAL INDUSTRIAL



Prepared By: cbarratt
Prepared On: May-10-2024



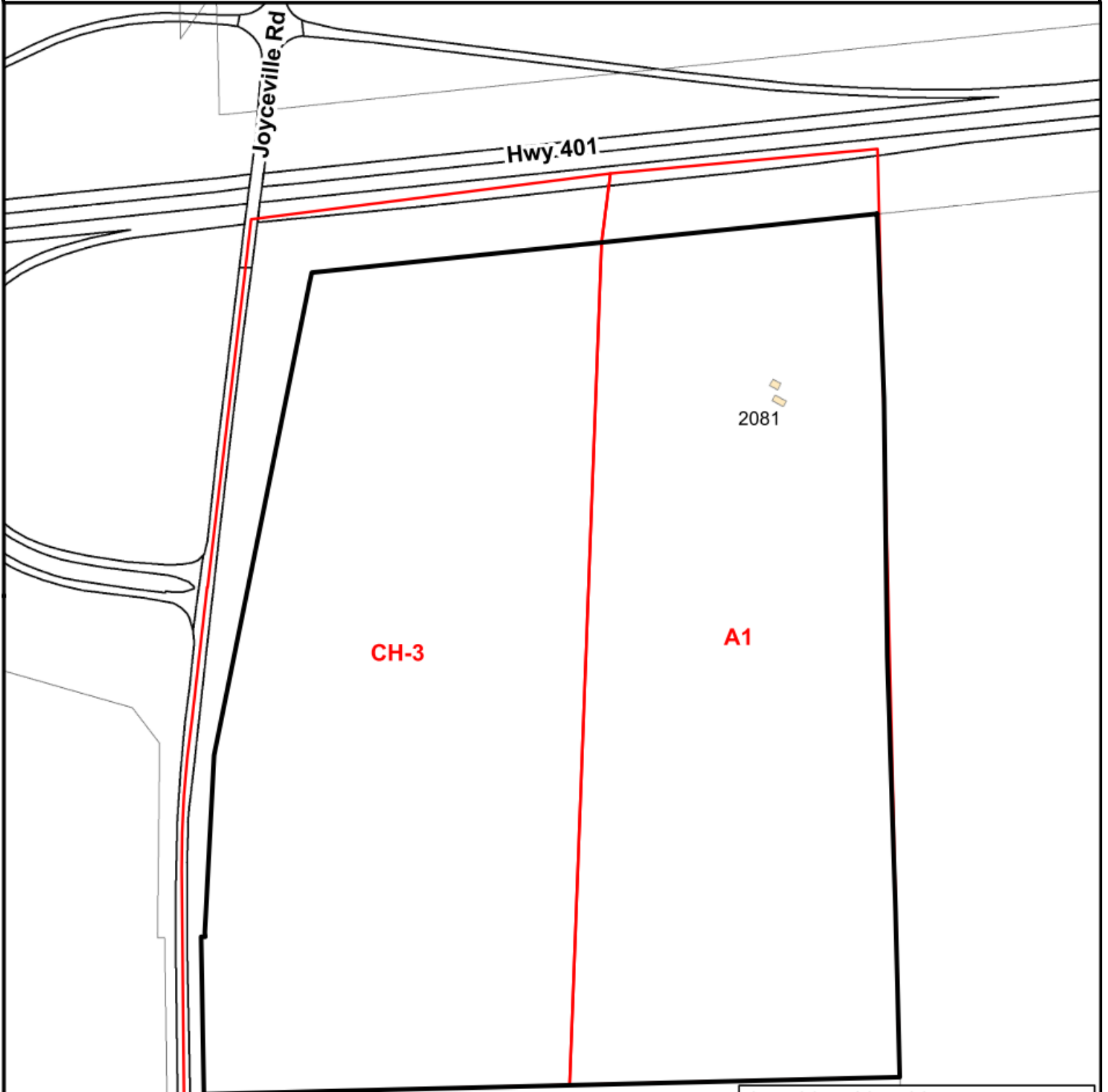
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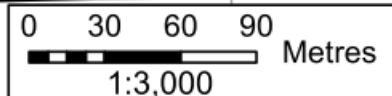
Planning Committee
Existing Zoning Bylaw, 32-74

Address: 2081 Joyceville Road
File Number: D01-010-2024

- Subject Lands
- Zone Boundaries



Prepared By: cbarratt
Prepared On: May-27-2024



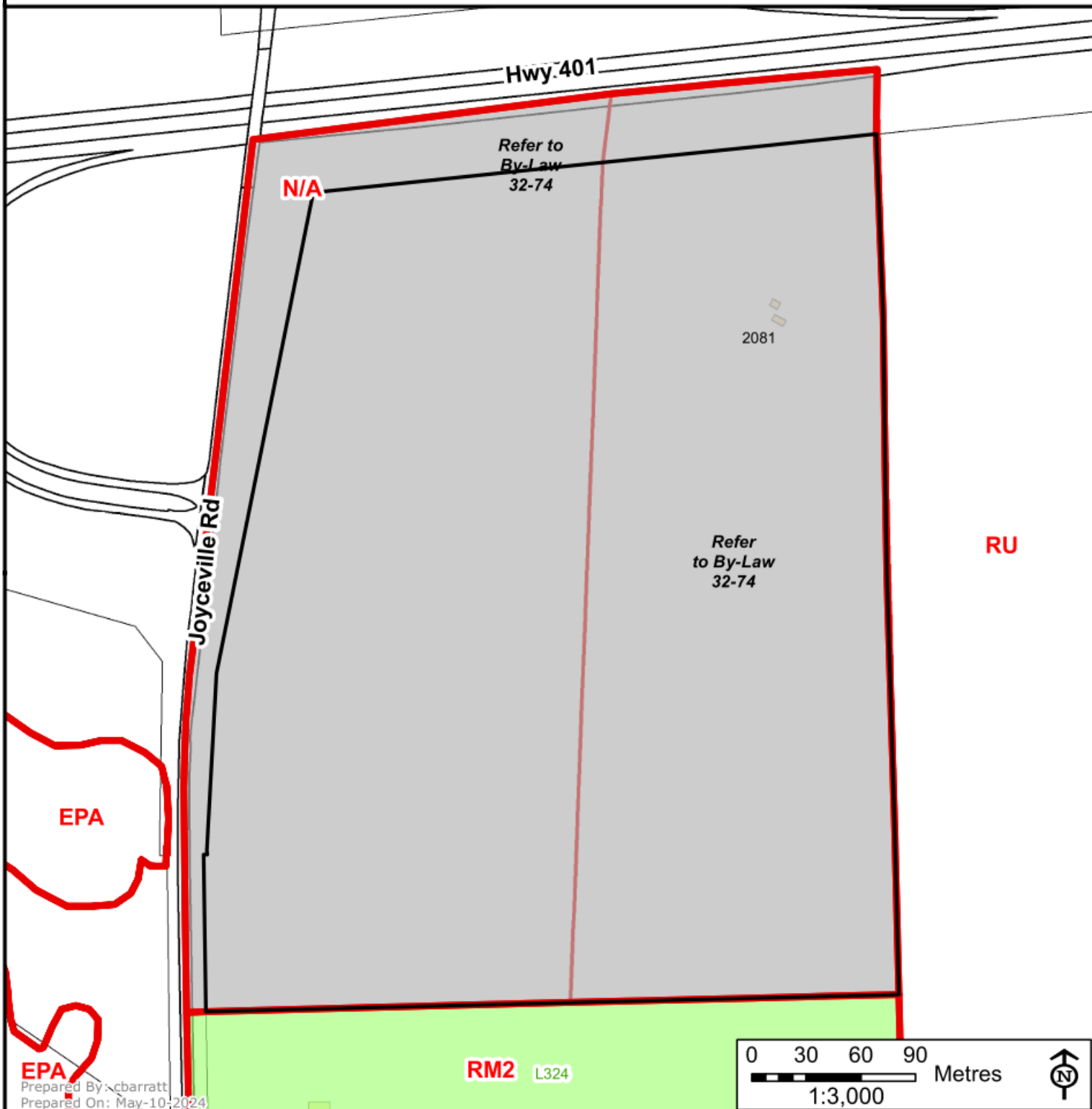


Planning Committee
Existing Zoning
Kingston Zoning By-Law 2022-62

Planning Services

Address: 2081 Joyceville Road
File Number: D01-010-2024
Prepared On: May-10-2024

- Subject Lands
- Schedule 1 Zoning Map Zone
- Not Subject to the Kingston Zoning By-law
- Schedule E - Exception Overlay
- Legacy Exceptions (LXXX)
- Exceptions (EXXX)
- Schedule F - Holding Overlay
- Holding Overlay (HXXX)







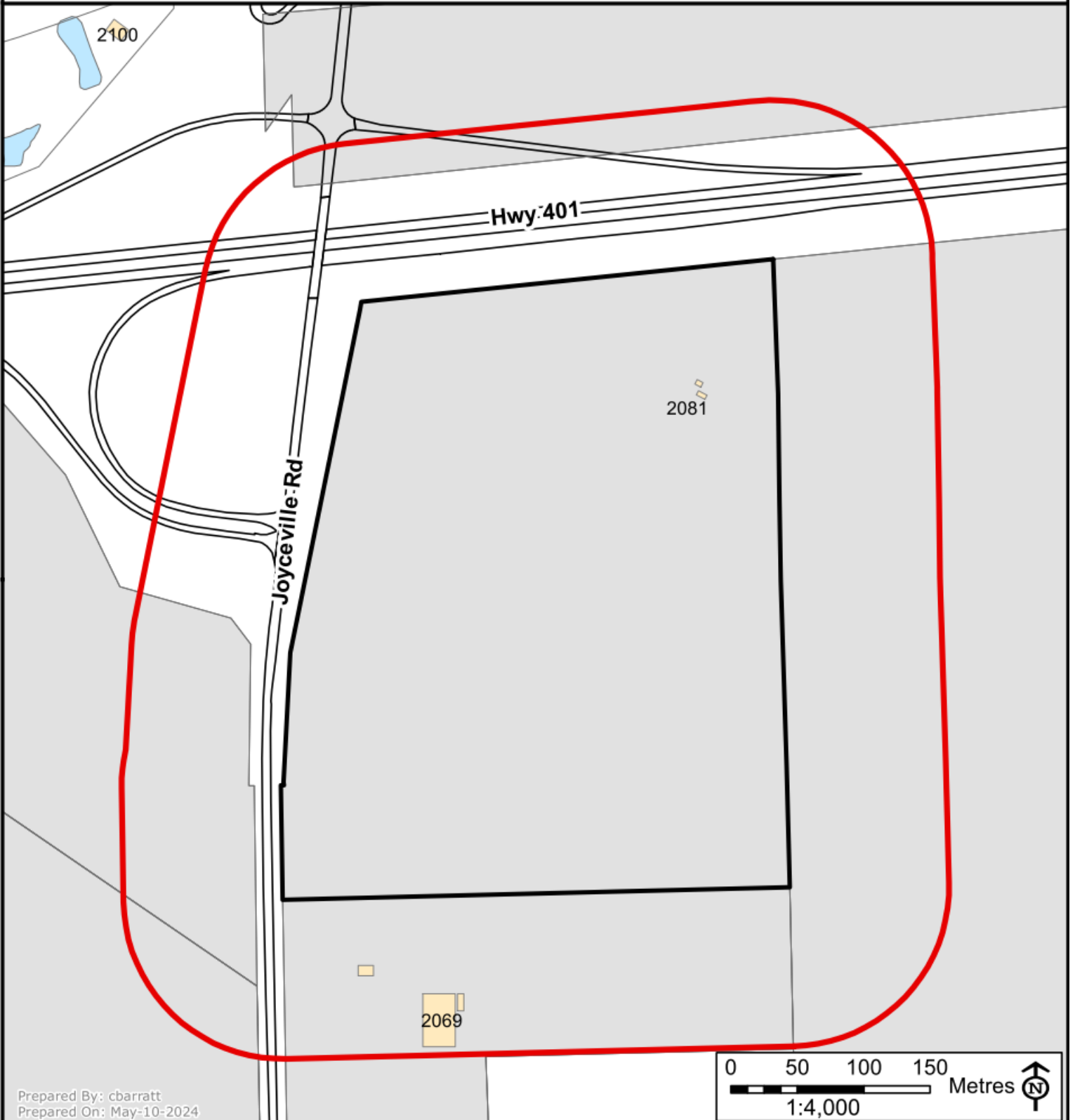
EPA
Prepared By: cbarratt
Prepared On: May-10-2024



City of Kingston
Public Notice Notification Map

Address: 2081 Joyceville Road
File Number: D01-010-2024
Prepared On: May-10-2024

-  120m Public Notification Boundary
-  Subject Lands
-  Property Boundaries
-  6 Properties in Receipt of Notice (MPAC)



Prepared By: cbarratt
Prepared On: May-10-2024