



City of Kingston
Report to Heritage Properties Committee
Report Number HP-25-025

To: Chair and Members of Heritage Kingston
From: Jennifer Campbell, Commissioner, Community Services
Resource Staff: Kevin Gibbs, Director, Heritage Services
Date of Meeting: September 17, 2025
Subject: Application for Ontario Heritage Act Approval
Address: 250 Old Kiln Crescent (P18-1437)
File Number: P18-052-2025

Council Strategic Plan Alignment:

Theme: Corporate business

Goal: See above

Executive Summary:

The subject property at 250 Old Kiln Crescent is a newly created lot (Lot 29) in the Barriefield Highlands subdivision on the lands of the former Horton Public School (411 Wellington Street) in the Village of Barriefield. The lands are designated under Part V of the *Ontario Heritage Act* as part of the Barriefield Heritage Conservation District. An application under Section 42 of the *Ontario Heritage Act* (File Number P18-052-2025) has been submitted to request approval to construct a new one-and-a-half storey dwelling, with walk out basement and a detached single-storey two-car garage. Detailed plans, prepared by Nu Dimensions, are included with the application. This application was deemed complete on August 13, 2025. The *Ontario Heritage Act* provides a maximum of 90 days for Council to render a decision on an application to alter a heritage building under Section 42(4). This timeframe will expire on November 11, 2025. Upon review of the submitted materials, as well as applicable policies and legislation, staff recommend approval of the proposed scope of work, subject to the conditions outlined in Exhibit A.

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Recommendation:

That the Kingston Heritage Properties Committee recommends to Council:

That the new construction at 250 Old Kiln Crescent, be approved in accordance with the details described in the application (File Number P18-052-2025), which was deemed complete on August 13, 2025, with said application to include the construction of a one-and-a-half storey dwelling with a detached single-storey garage accessed by a driveway; and

That the approval of the application be subject to the conditions outlined in Exhibit A to Report Number HP-25-025.

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Authorizing Signatures:

ORIGINAL SIGNED BY COMMISSIONER

Jennifer Campbell,
Commissioner, Community
Services

ORIGINAL SIGNED BY CHIEF ADMINISTRATIVE OFFICER

Lanie Hurdle, Chief
Administrative Officer

Consultation with the following Members of the Corporate Management Team:

Paige Agnew, Commissioner, Growth & Development Services	Not required
Neil Carbone, Commissioner, Corporate & Emergency Services	Not required
David Fell, President & CEO, Utilities Kingston	Not required
Desirée Kennedy, Chief Financial Officer & City Treasurer	Not required
Jenna Morley, City Solicitor	Not required
Ian Semple, Commissioner, Transportation & Infrastructure Services	Not required

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Options/Discussion:**Description of Application/Background**

The subject property at 250 Old Kiln Crescent is a newly created property (Lot 29) in the Barriefield Highlands subdivision on the lands of the former Horton Public School in the Village of Barriefield. The lands are designated as part of the Barriefield Heritage Conservation District under Part V of the *Ontario Heritage Act*.

The J.E. Horton Public School closed in 2012 and was demolished in 2016 to make way for re-development. A 31-lot residential subdivision centred around a central park feature and accessed by two new public roads was granted final approval in February 2025 (File D12-002-2023). Ten (10) new dwellings and their associated garages were granted conditional *Ontario Heritage Act* approval in 2024-2025 in the new subdivision, and many are currently under construction. The subject property at 250 Old Kiln Crescent is another separately conveyable parcel within the subdivision.

An application under Section 42 of the *Ontario Heritage Act* (P18-052-2025) has been submitted to request approval to construct a new one-and-a-half storey dwelling with walk out basement and a detached single-storey garage. The new dwelling will have a side gable roof with a large central gabled projection over a covered cedar porch and central entranceway. The plans as submitted include a “summit grey” coloured asphalt shingle roof and vertical board-and-batten style wood-textured fiber cement siding (Hardie Panel) in their “Deep Ocean” (dark blue) tone. The windows, including the soffits and fascia, and porch railings are to be white.

The 39 square metre (420 square foot), single-storey detached garage will be clad in matching materials and colours and have a medium-pitched gable roof. The garage includes parking for two cars and will be accessed by an approximately 4-metre-wide driveway on the south side of the dwelling.

Detailed plans, prepared by Nu Dimension Design and Drafting, are included with the application and are attached as Exhibit C – Concept Plans. This application was deemed complete on August 13, 2025. The *Ontario Heritage Act* provides a maximum of 90 days for Council to render a decision on an application under Section 42(4). This timeframe will expire on November 11, 2025.

The submission materials in their entirety are available online through the Development and Services Hub (DASH) at the following link, [DASH](#), using “Look-up a Specific Address.” If there are multiple addresses, search one address at a time. Submission materials may also be found by searching the file number.

Reasons for Designation/Cultural Heritage Value

The subject property is included within the boundary of the Barriefield Heritage Conservation District (HCD) designated under Part V of the *Ontario Heritage Act* in 1981. As per the Property Inventory Evaluation, this property is noted as “non-heritage.”

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Cultural Heritage Analysis

Applicable Local Policies/Guidelines - While the property, formally known as 411 Wellington Street, is not identified as a contributing property in the Village of Barriefield Heritage Conservation District Plan Inventory, it is still an important and historic area in the HCD. Therefore, proposed construction on the property requires consideration to determine the impact, if any, on the overall heritage character of the HCD. The proposed works are required to be undertaken in accordance with the Village of Barriefield Heritage Conservation District Plan (District Plan). Other applicable by-laws, policy and guidance (including Parks Canada's 'Standards and Guidelines for the Conservation of Historic Places in Canada') are also considered when assessing impacts to the character of the HCD to ensure that proposed structures do not negatively impact the HCD.

Summary of Project Proposal and Impact Analysis

Section 2.0 of the District Plan provides a Statement of Cultural Heritage Value for the entire HCD. This includes a value statement as well as a list of heritage attributes, which include "The rural village character" which is defined by a built form of primarily detached dwellings of a consistent scale and massing ranging in height "from one to two storeys", with pitched gabled roofs, wood or stone exteriors and prominent front doors, on small lots with minimal setbacks.

Section 3.0 of the District Plan speaks to the goals and objectives for the HCD which includes "to preserve and protect the rural village character of the District" and to "allow only those changes that are compatible with the built form and that are consistent with the cultural heritage value of the District."

Section 4.5.5 of the District Plan includes site-specific policies related to the former J.E. Horton Public School property. The purpose of this section is to help guide the redevelopment of the property. This section directs and encourages the protection of the significant views of St. Mark's Church that cross the former property, the location of the public open space and the size of new lots. Section 4.5.5a requires that any new redevelopment of this property be evaluated by a qualified professional through a heritage impact statement (HIS) to demonstrate and ensure compatibility with the heritage attributes and cultural heritage value of the HCD. An HIS was prepared by Heritage Preservation Consultant, Andre Scheinman, as part of the *Planning Act* applications. The HIS was peer reviewed by MTBA Associates and heritage staff. The redevelopment of these lands into a 31-lot residential subdivision has been approved by Council.

Section 4.5.5 provides guidance related to the built form of new construction on the former school site. Subsection (d) notes that "any new development shall respect the existing built form and cultural heritage value of the HCD as per the policies of Section 4.5." From a policy interpretation and implementation perspective the term "shall respect" is important to note. As opposed to terms like "shall conform to" or "shall follow", the term "shall respect" is one that strongly encourages consideration of the policies of Section 4.5 but allows for some flexibility

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based on site-specific circumstances, provided the overall goals and objectives of the District Plan are met.

Section 4.5 includes various policies and guidelines related to New Construction in the HCD in general. Section 4.5.1 of the District Plan requires that new dwellings be compatible with the cultural heritage value and attributes of the HCD (as noted in Section 2.0) and maintain the rhythm and height of the streetscape, while being a contemporary interpretation of the predominant forms and styles of the area. These broad requirements are further specified in Section 4.5.2 of the Plan.

The first three subsections of Section 4.5.2 outline the requirements pertaining to massing, height and setbacks. The proposed dwelling (Exhibit C – Concept Plans) includes a footprint of approximately 131 square metres (1,410 square feet), which is similar to others recently approved in the subdivision.

Subsection (c) requires that new construction be located on the lot so as to be consistent with setbacks in the area. The intention is to direct new dwellings in the subdivision to form a consistent setback with minimal front yards to be consistent with the heritage attributes of the HCD (see Section 2.0).

To be compatible with the cultural heritage value of the HCD, the roof form, window proportions, primary entrance design and exterior cladding choice is extremely important. The common roof form in the HCD is a low to medium pitched side gable roof with asphalt, wood or metal roofing. The proposed plans conform to this requirement.

A primary entrance is a common design feature of most traditional buildings in Barriefield. The District Plan requires new construction to have an obvious entrance facing the street. The entrance can either be projecting or protected by a covered porch. Large amounts of glazing and double doors are not permitted. The proposal includes a prominent entrance with a single door, a fixed window lite, and transom window under a covered porch with square columns. The proponent has also included a decorative gable vent above the central entrance. Section 4.5.2d of the District Plan specifies that new roof vents, solar panels, skylights, satellite dishes and dormers shall be located away from public view, and in a manner that does not adversely affect heritage attributes of the District. While this is a minor feature that will have little impact on the overall village character, the District Plan is very specific that new openings must adhere to the “vertical and rectangular dimension and proportions present in the District” (Section 4.5.2e). Staff have included a condition of approval that requires the applicant to amend their plans to either remove the octagonal vent or replace it with a rectangular vent.

Section 4.5.2f of the District Plan requires the use of wood or stone siding on Public Façades, and notes that board and batten is appropriate for outbuildings or as a secondary cladding material. The applicants are proposing vertical wood-textured cement fiber board siding, in a board and batten profile. While not specifically a wooden product, this style of cladding by James Hardie has been used in various places in the Village (including many of the dwellings in the Highlands subdivision) with great success and is almost indistinguishable from an authentic

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wood siding. The use of board and batten as a primary cladding, while not common, has been used in the HCD on infill buildings at 401 Wellington, 3 Drummond and 223 Green Bay Road, as well as on 246 Old Kiln Crescent, located adjacent to the proposed dwelling. While Section 4.5.2f is worded quite strongly, the governing policies related to this particular property are those in Section 4.5.5 as noted above. Given that Section 4.5.5d intentionally uses the statement “shall respect” allows for some additional considerations with respect to new construction on the former school site. As this particular lot (Lot 29 – Exhibit B – Context Map) is located away from Wellington Street and the more historical/culturally significant areas of the Village, the use of non-traditional, yet compatible, cladding will have no direct impact on the heritage character and attributes of the HCD.

The requirements of Section 4.5 echo the wording of Standard 11 of Parks Canada’s Standards and Guidelines for the Conservation of Historic Places in Canada (Standards and Guidelines), which directs that new construction should be “physically and visually compatible with, subordinate to and distinguishable from the historic place.” The form, scale, window placement and roof profile will allow the new dwelling to be visually compatible with the HCD, while subtle differences such as the use of synthetic cladding will clearly distinguish this as a new addition to the Village.

The current application also includes a proposal to construct a detached one storey two-car garage, clad in vertical board-and-batten siding with an asphalt shingle roof. Section 4.5.3 of the District Plan includes policies related to garages and ancillary structures. The policy requires that new garages be detached and setback from the front façade of the main building. Garages should also appear subordinate to the primary structure by being lower in profile and by being clad in complementary materials. The applicants propose to locate the garage in the back corner of the lot, setback from the primary façade of the main building and accessed by a new driveway. The garage is to be lower in height than the proposed dwelling and will be clad to match the dwelling.

It has been suggested on previous applications in the subdivision to consider using two doors instead of one or choosing a door that gives the appearance of two doors. The large double garage door may provide a bulky horizontal appearance to the new garage that could increase its prominence on the lot, thereby being less subordinate to the main dwelling. While staff support the double door as proposed, a condition of approval has been included to request the applicants consider altering their plans to break up the large door appearance.

Results of Impact Analysis - The proposed new construction will not physically impact any built heritage features of the HCD. However, the new subdivision will have a lasting impact on the streetscape and character of the HCD. The broader impacts of the new subdivision have been assessed, mitigated and approved. The intent of this individual application is to review the finer grain details of the new structures to ensure the overall integrity of the HCD and its heritage attributes are being conserved.

The Village of Barriefield Heritage Conservation District Plan requires that new construction be compatible with the heritage value and attributes of the HCD. Designs should not attempt to

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replicate historical styles but instead be a contemporary interpretation of historic forms and styles. Broadly, the dwelling and garage has been designed in a manner which satisfies the objectives of the District Plan and respects the character of the existing heritage buildings in the immediate area. As such, the new buildings will have an acceptable impact on the heritage attributes of the HCD.

Heritage Planning staff support the application as it aligns with the goals and objectives of the District Plan and uphold the heritage conservation objectives set out within the City of Kingston's Official Plan, and the direction given by the Provincial Planning Statement, the Ontario Heritage Tool Kit, and Parks Canada's Standards and Guidelines for the Conservation of Historic Places in Canada.

Previous Approvals

None

Comments from Department and Agencies

The following internal departments have commented on this application and provided the following comments:

Planning - The subject property (Lot 29) is zoned Heritage Zone 1 – Village of Barriefield (HCD1) Zone subject to Exception E118 under the Kingston Zoning By-Law Number 2022-62. The Exception indicates that a single detached house is a permitted residential use subject to meeting the requirements of the by-law. Under the HCD1 Zone, this is a non-heritage lot.

Public Works - Public Works requests that the developer not place ornamental features or inlaid stone or brick for the driveway where it is located on public property as the ploughs for both the sidewalk and the road may damage said ornamental features that the homeowner will be responsible for. Paving the driveway located on public property with asphalt or concrete is recommended. This area of the City has narrow roads and sidewalks in many locations.

Licensing and Enforcement - We have no concerns other than the contractor(s) adhere to our noise by-laws.

Building - A Building Permit is required for the new construction, and a separate permit is required for the accessory structure. Spatial separations are to be taken into account for allowable window openings. In addition to Building Permit fees, development & impost charges will be required in full at time of building permit issuance in accordance with the Permit Fee Schedule at time of issuance.

Engineering - No Development Engineering concerns with this application but as part of the building permit application the applicant will have to have the proposed grading reviewed and approved by the developers engineer.

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Kingston Hydro - If a temporary construction service is required, a separate electric service request form will need to be completed and submitted to a services advisor at Utilities Kingston.

Utilities Kingston - Utilities Kingston has no issues or concerns with this heritage application.

Consultation with Heritage Kingston

The Heritage Properties Committee was consulted on this application through the [DASH](#) system. Written comments from one member were received at the time of writing this report (Exhibit D). The responding member noted they had no issues with the proposal.

Conclusion

Staff recommends approval of the application File Number P18-052-2025, subject to the conditions outlined in Exhibit A.

Existing Policy/By-Law:

Standards and Guidelines for the Conservation of Historic Places in Canada (Parks Canada)

Ontario Heritage Act, R.S.O. 1990, C.O. 18 (Province of Ontario)

Ontario Heritage Tool Kit (Ministry of Citizenship and Multiculturalism)

City of Kingston Official Plan

Village of Barriefield Heritage Conservation District Plan

Notice Provisions

Pursuant to Section 42(3) of the *Ontario Heritage Act (OHA)*, notice of receipt of a complete application has been served on the applicant.

Financial Considerations

None

Contacts

Kevin Gibbs, Director, Heritage Services, 613-546-4291 extension 1354

Joel Konrad, Manager, Heritage Planning, Heritage Services, 613-546-4291 extension 3256

Ryan Leary, Senior Planner, Heritage Services, 613-546-4291 extension 3233

Niki Kensit, Intermediate Planner, Heritage Services, 613-546-4291 extension 3219

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Other City of Kingston Staff Consulted:

None

Exhibits Attached:

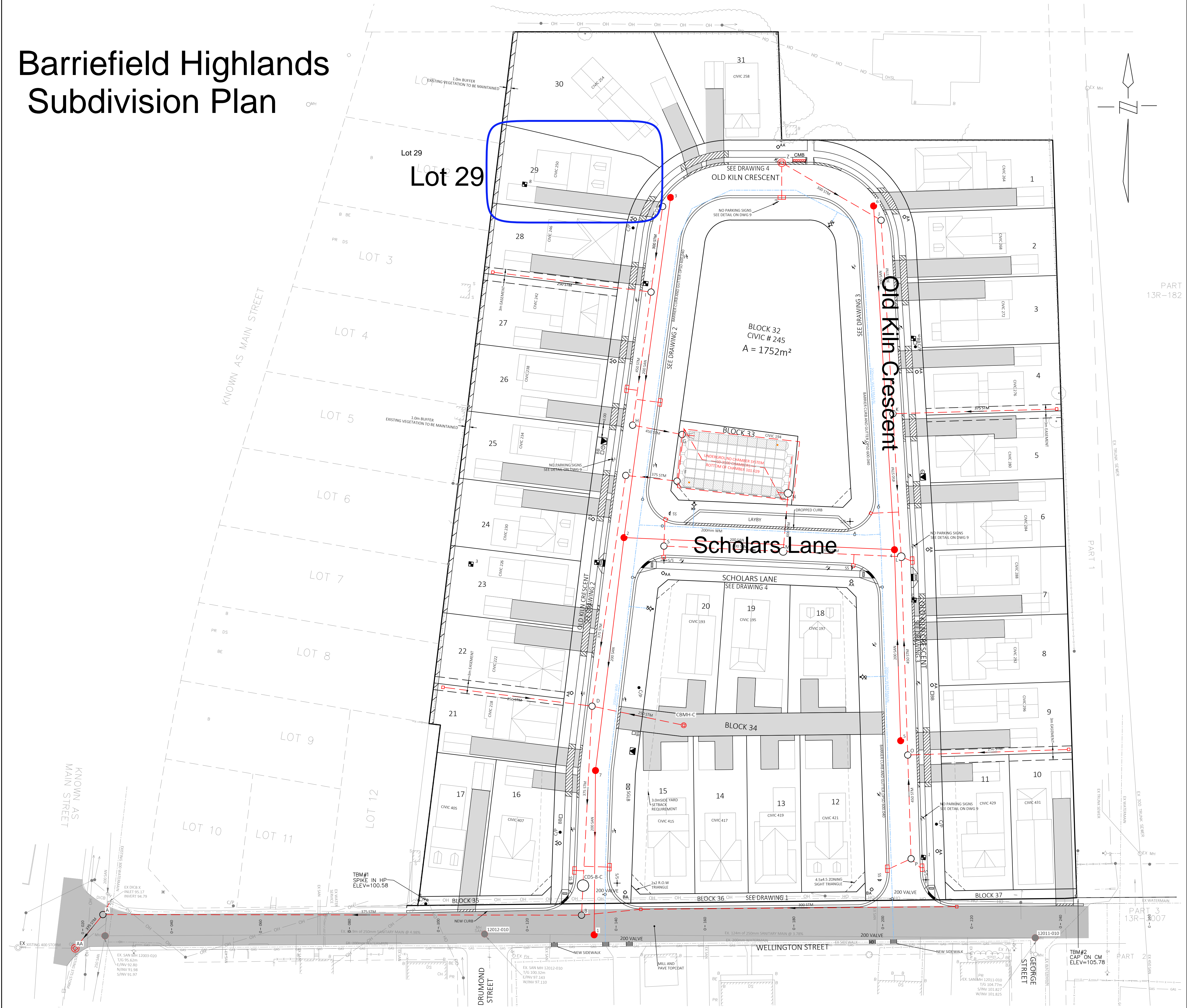
- Exhibit A Conditions of Approval
- Exhibit B Context Maps
- Exhibit C Conceptual Plans
- Exhibit D Correspondence Received from Committee

Conditions of Approval

That the approval of the application be subject to the following conditions:

1. The applicant shall consider amending their plans to include two garage doors or a single door that gives the appearance of two garage doors for the detached garage;
2. The applicant shall amend their plans to either remove the proposed octagonal vent on the north façade or replace it with a vertical and rectangular shaped vent, to ensure consistency with the Village of Barriefield Heritage Conservation District Plan;
3. The use of wood or concrete (i.e. Hardie Board) horizontal siding on the dwelling is encouraged and permitted as an option to the vertical board and batten style cement fibre board proposed;
4. Details related to the colour(s) and specifics of all exterior features, including but not limited to the cladding, windows, roofing, trim and doors, shall be submitted to Heritage Planning staff for review and approval prior to installation, to ensure it complements the heritage character and attributes of the District;
5. A Building Permit shall be obtained, as necessary;
6. All Planning Act approvals shall be obtained, as necessary; and
7. Any minor deviations from the submitted plans, which meet the intent of this approval and do not further impact the heritage attributes of the property or District, shall be delegated to the Director of Heritage Services for review and approval.

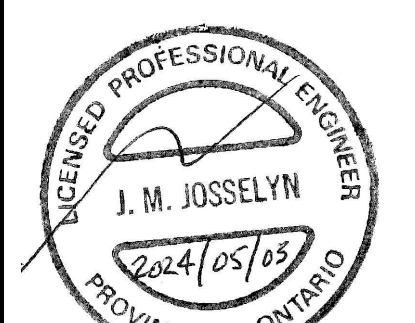
Barriefield Highlands Subdivision Plan



LEGEND	EXISTING	PROPOSED
PAVEMENT		
CONCRETE CURB TYPE		
DITCH		
STORM SEWER & MANHOLE WITH DIRECTION OF FLOW		
SAN. SEWER & MANHOLE WITH DIRECTION OF FLOW		
WATERMAIN AND VALVE		
GAS METER LOCATION		
GAS MAIN		
HYDRO (UNDERGROUND)		
HYDRO (OVER HEAD)		
SINGLE CATCH BASIN		
DITCH INLET CATCH BASIN		
TWIN INLET CATCH BASIN		
CATCH BASIN MANHOLE		
HYDRANT & VALVE BOX		
BELL UTILITY POLE & ANCHOR		
HYDRO UTILITY POLE & ANCHOR		
STREET LIGHT		
TREES		
PROPERTY BOUNDARY		
EASEMENT		
FENCE		
SEDIMENT FENCE		
"NO PARKING" SIGN		
STREET SIGN		
STOP SIGN		
ACOUSTIC FENCE		
BENCH MARK LOCATION		
EXISTING GRADE	98.73	
PROPOSED GRADE		
STREET LIGHT		
TRANSITION		
DROPPED SIDEWALK AT DRIVEWAYS		
DROPPED CURB AT DRIVEWAYS		
LIGHT DUTY ASPHALT		
MILL AND PAVE TOPCOAT		
TEST PIT LOCATION		
CHANNEL GRADE LEVEL BOX (BELL CANADA 135w x 48 x 24.4)	SGLB	SGLB

No.	By	Date	Revision	Checked
9	NB	2024-05-03	REVISED PER TECHNICAL REVIEW COMMENTS	MJ
8	CB	2024-04-15	REVISED PER 4TH TECHNICAL COMMENTS	MJ
7	NB	2024-03-21	REVISED PER TECHNICAL REVIEW COMMENTS	MJ
6	NB	2024-02-27	REVISED PER TECHNICAL REVIEW COMMENTS	MJ
5	CB	2024-01-11	REVISED PER TECHNICAL REVIEW COMMENTS	MJ
4	CB	2023-10-04	REVISED PER TECHNICAL REVIEW COMMENTS	MJ
3	CB	2023-07-31	REVISED PER TECHNICAL REVIEW COMMENTS	MJ
2	CB	2023-02-23	REVISED PER TECHNICAL REVIEW COMMENTS	MJ
No.	By	Date	Revision	Checked

JE Josselyn Engineering Inc.



1225 GARDINERS ROAD, #105
KINGSTON, ONTARIO K7P 0G3
TEL : 613-634-9278
E-MAIL : mjosselyn@josselyn.ca

OWNER: **BARRIEFIELD HIGHLANDS**
PROJECT: **BARRIEFIELD HIGHLANDS**

DRAWING TITLE: **GENERAL PLAN**

Designed By: M.J.	Date: 2021-06-02	Drawing No. 1315-GP
Drawn By: N.B.	Scale: 1:400	
Checked By: M.J.		

Lot 29 / 250
Old Kiln Cres.



Lot 27



Lot 28



Lot 29 / 250 Old Kiln



Lot 30



**FOR HERITAGE
REVIEW ONLY.
NOT FOR
CONSTRUCTION.**



**FOR BUILDING PERMIT
SUBMISSION & ISSUANCE**

ALL DRAWINGS SUBMITTED FOR PERMIT
ISSUANCE MUST INCLUDE THE FOLLOWING:

- A RED INK STAMP INDICATING DESIGNER BCIN & FIRM BCIN
- A RED INK STAMP WITH AN ORIGINAL SIGNATURE IN BLUE INK
- SCHEDULE 1: DESIGNER FORM WITH AN ORIGINAL SIGNATURE IN BLUE INK

DO NOT SCALE THE DRAWINGS. ALL DIMENSIONS AND SPECIFICATIONS MUST BE REVIEWED BY CONTRACTOR / OWNER PRIOR TO CONSTRUCTION. ANY ERRORS OR OMISSIONS MUST BE SENT TO NU DIMENSION DESIGN AND DRAFTING FOR AMENDMENTS. ALL DESIGNS AND DRAWINGS REMAIN THE PROPERTY OF NU DIMENSION DESIGN AND DRAFTING. REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY NU DIMENSION DESIGN AND DRAFTING IS FORBIDDEN.

#	DRAWING DESCRIPTION	DATE
1	ISSUED FOR HERITAGE REVIEW	08/07/25
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6		

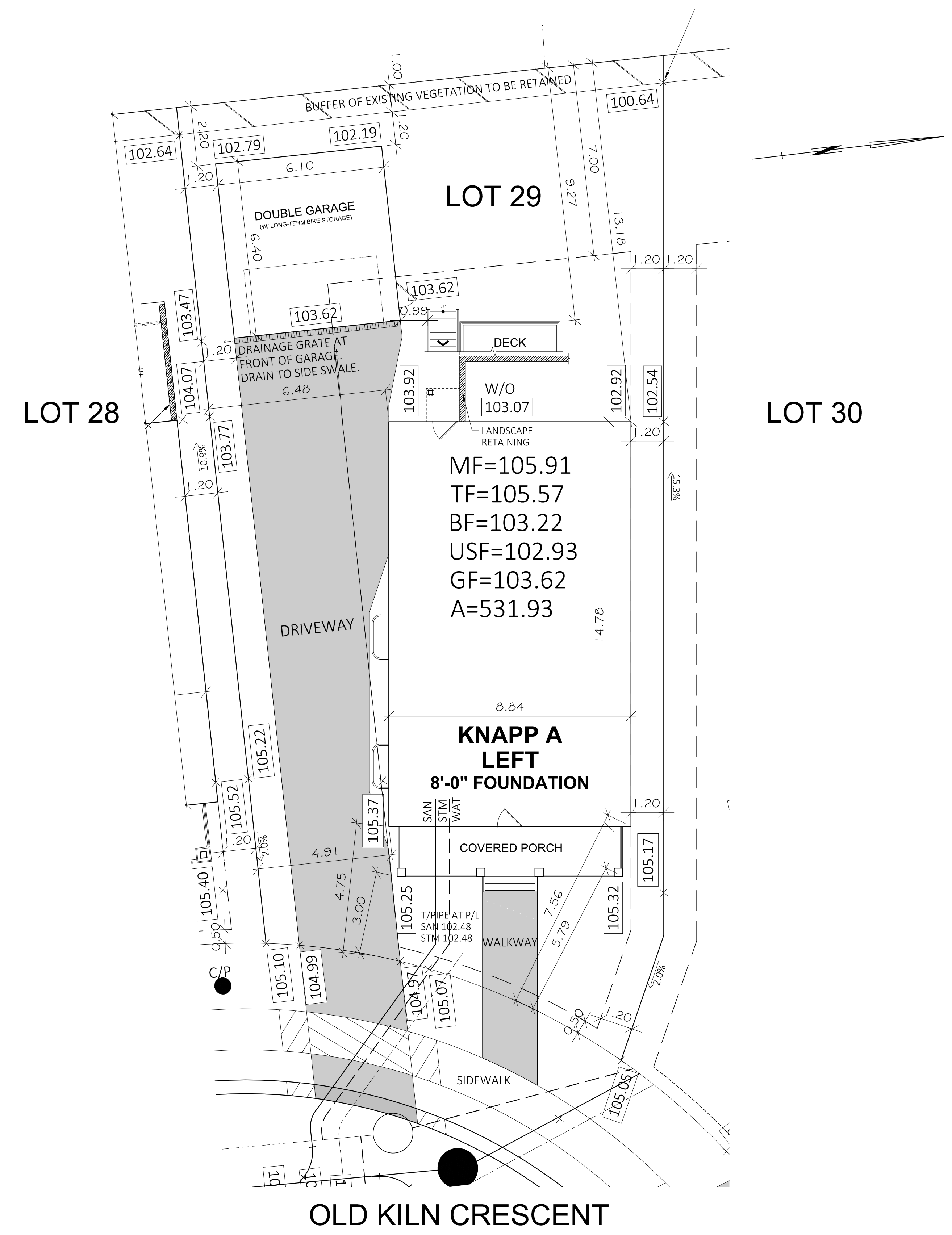
PROJECT:
**THE KNAPP A LEFT
250 OLD KILN CRESCENT
BARRIEFIELD, KINGSTON, ON**

DRAWING TITLE:
SITE PLAN

SCALE: 1/4"=1'-0"
DATE: AUGUST 7, 2025
DRAWN BY: NP/DN
CHECKED BY: NP/DN
DRAWING REF#: TBD

LOT NUMBER:
29

DRAWING NO:
A-1 OF
4



**FOR HERITAGE REVIEW ONLY.
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FOR BUILDING PERMIT SUBMISSION & ISSUANCE

ALL DRAWINGS SUBMITTED FOR PERMIT ISSUANCE MUST INCLUDE THE FOLLOWING:

- A RED INK STAMP INDICATING DESIGNER BCIN & FIRM BCIN
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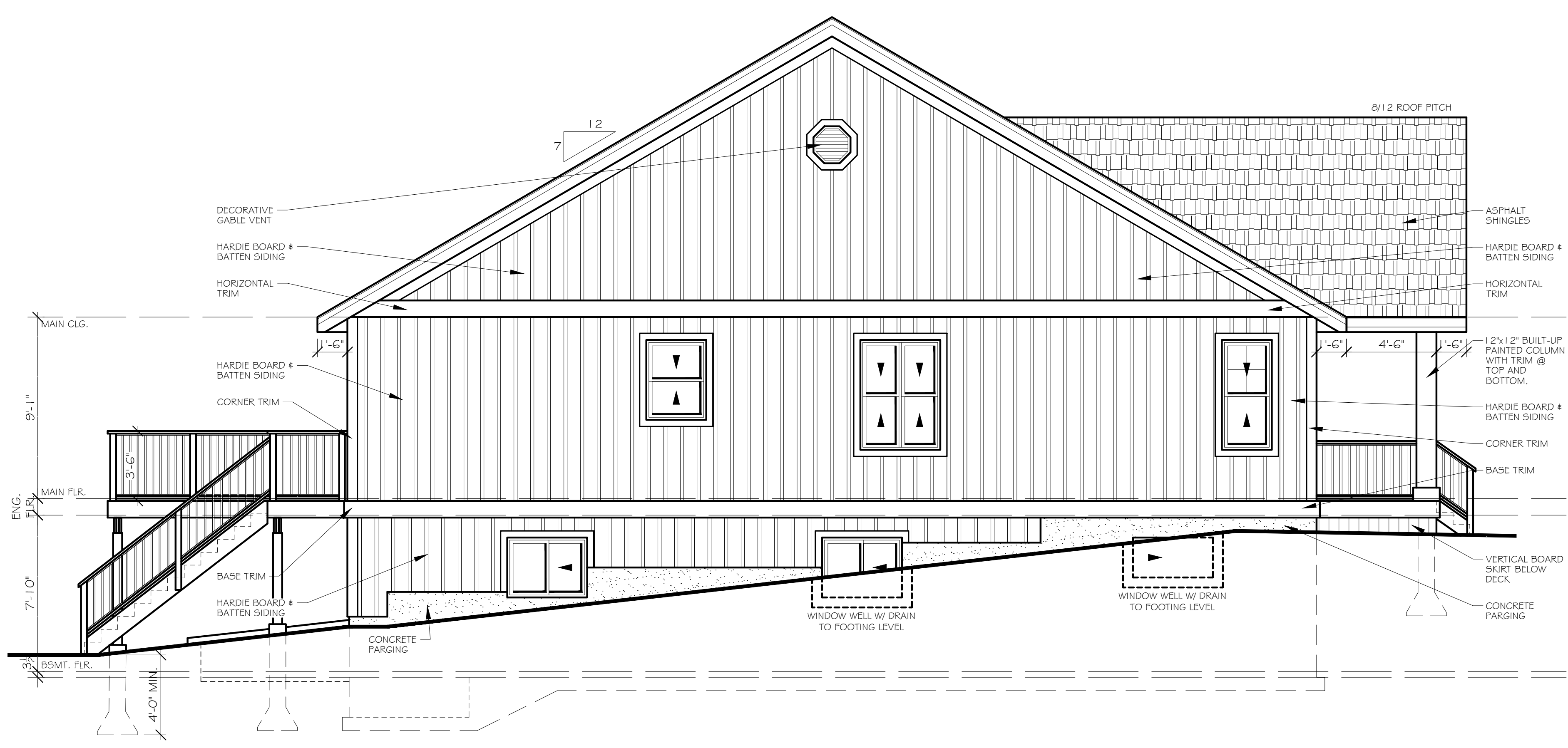
PROJECT:
**THE KNAPP A LEFT
250 OLD KILN CRESCENT
BARRIEFIELD, KINGSTON, ON**

DRAWING TITLE:
ELEVATIONS

SCALE: 1/4"=1'-0"
DATE: AUGUST 7, 2025
DRAWN BY: NP/DN
CHECKED BY: NP/DN
DRAWING REF#: TBD

LOT NUMBER:
29

SHEET
DRAWING NO:
A-2
OF
4



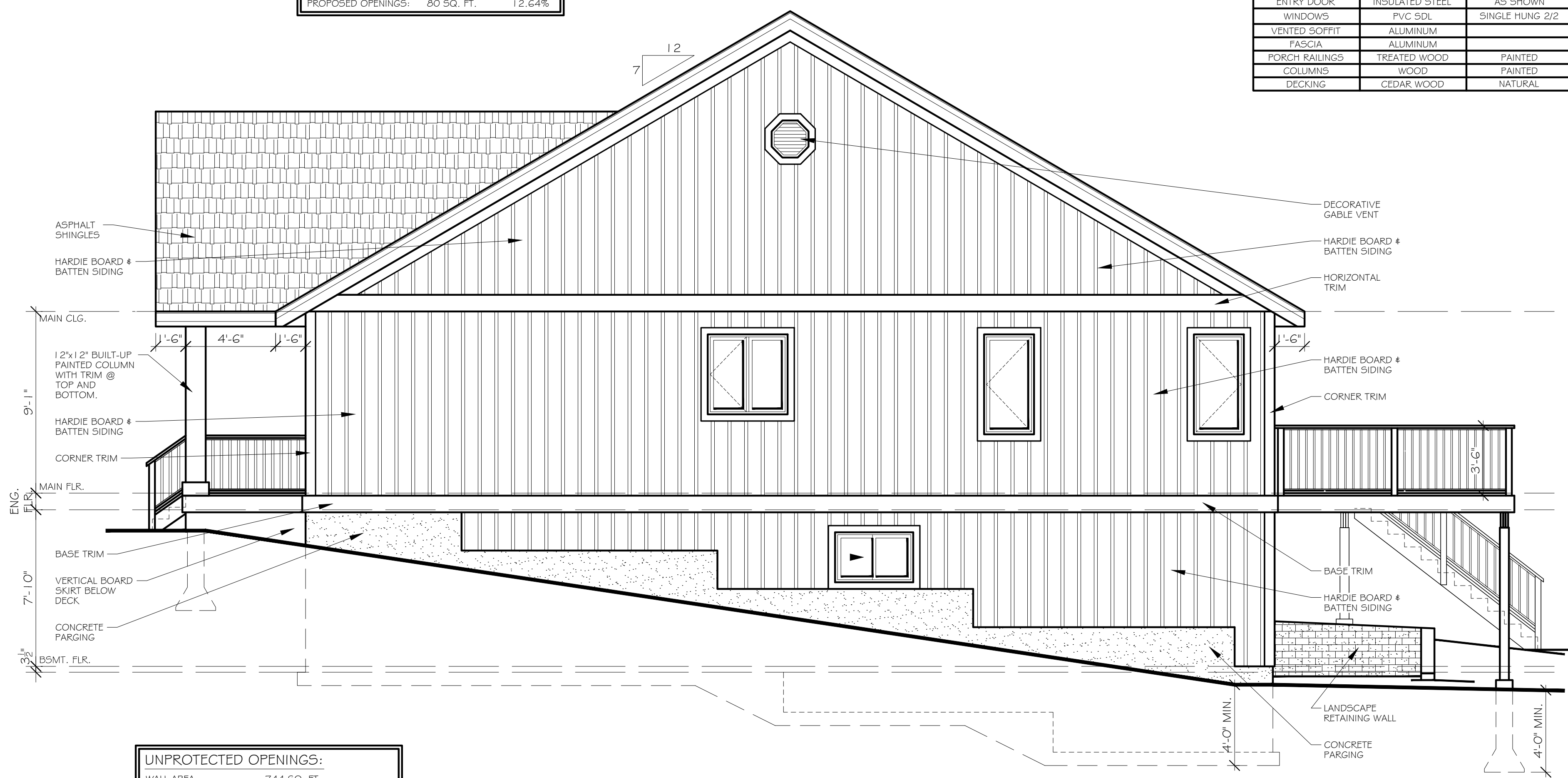
LEFT ELEVATION

UNPROTECTED OPENINGS:

WALL AREA:	631 SQ. FT.
LIMITING DISTANCE:	13'-1" (4.0M)
PERMITTED OPENINGS:	113.56 SQ. FT. 18.00%
PROPOSED OPENINGS:	80 SQ. FT. 12.64%

**BARRIEFIELD HIGHLANDS
LOT 29
THE KNAPP A (LEFT)**

DESCRIPTION	MATERIAL	STYLE	COLOR
ROOFING	ASPHALT SHINGLES		SUMMIT GREY
SIDING	HARDIE BOARD	WOOD TEXTURED	DEEP OCEAN
CORNER TRIM (4 1/2")	HARDIE BOARD	WOOD TEXTURED	ARCTIC WHITE
WINDOW TRIM (4 1/2")	HARDIE BOARD	WOOD TEXTURED	ARCTIC WHITE
BASE TRIM (7 1/2")	HARDIE BOARD	WOOD TEXTURED	ARCTIC WHITE
ENTRY DOOR	INSULATED STEEL	AS SHOWN	BURGUNDY
WINDOWS	PVC S/DL	SINGLE HUNG 2/2	WHITE
VENTED SOFFIT	ALUMINIUM		WHITE
FASCIA	ALUMINIUM		WHITE
PORCH RAILINGS	TREATED WOOD	PAINTED	WHITE
COLUMNS	WOOD	PAINTED	WHITE
DECKING	CEDAR WOOD	NATURAL	NATURAL



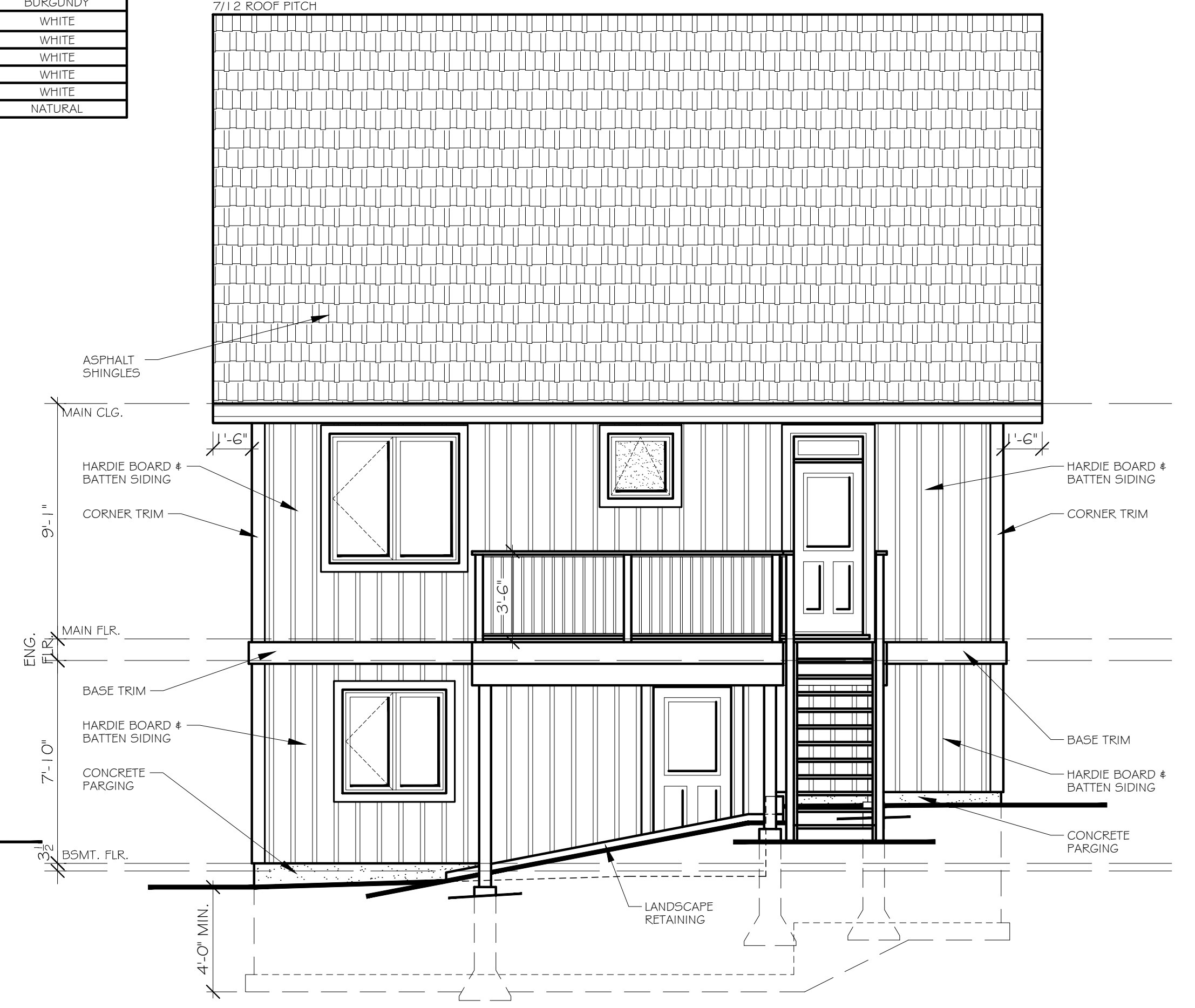
RIGHT ELEVATION

UNPROTECTED OPENINGS:

WALL AREA:	744 SQ. FT.
LIMITING DISTANCE:	4'-0"
PERMITTED OPENINGS:	52.05 SQ. FT. 7.00%
PROPOSED OPENINGS:	51 SQ. FT. 6.83%

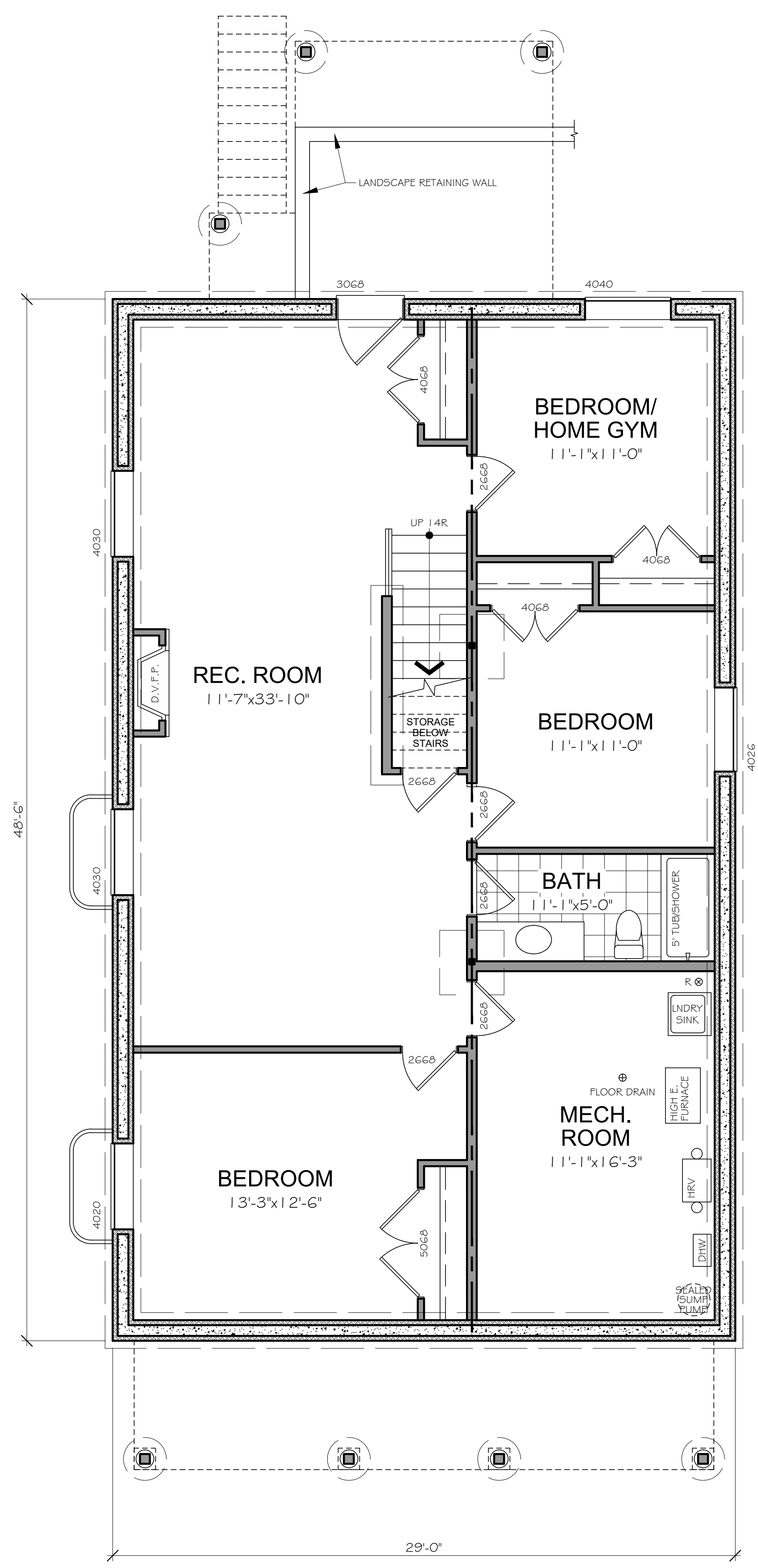


FRONT ELEVATION

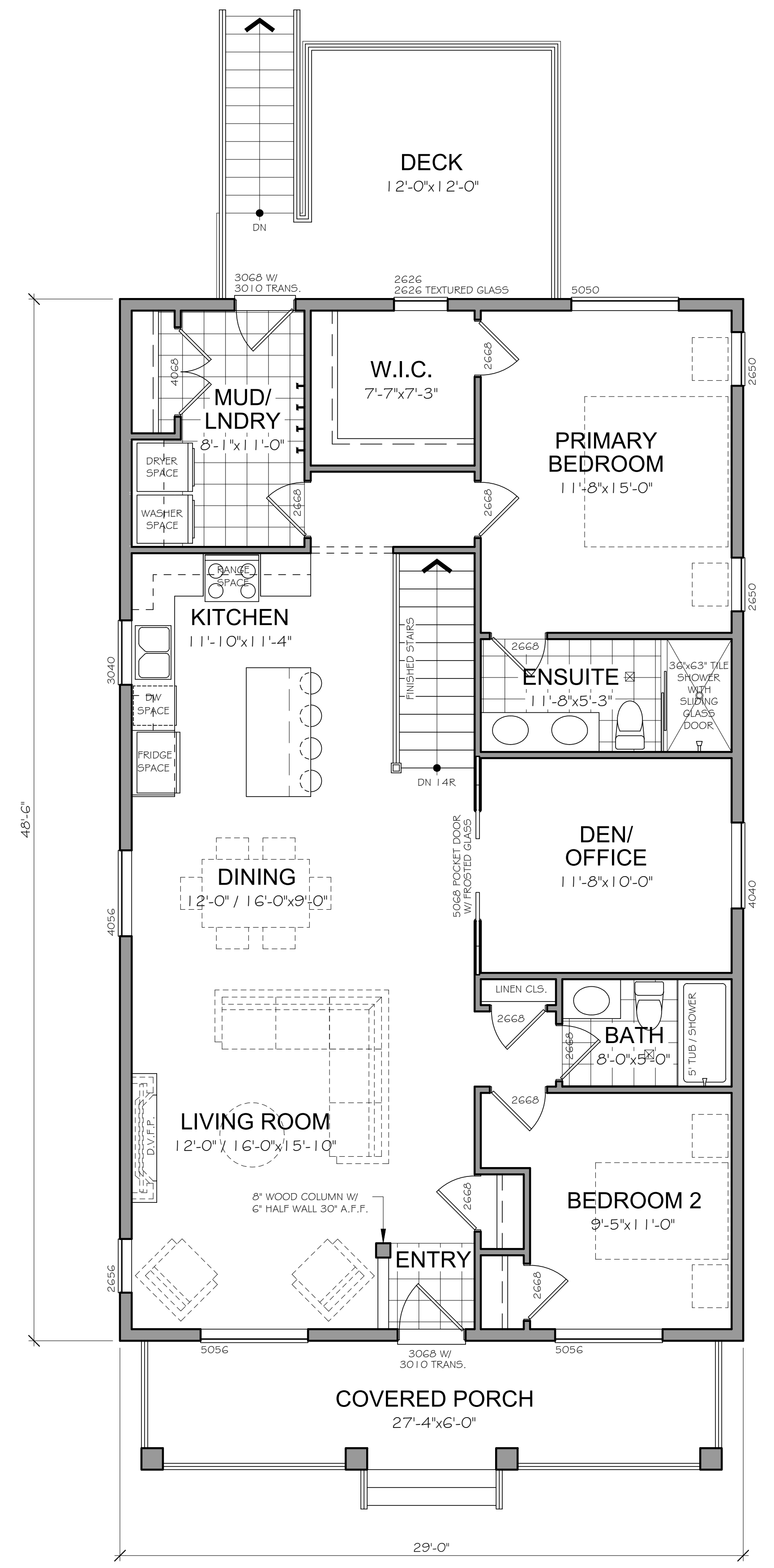


REAR ELEVATION

NOTE:
ALL WINDOW & DOOR SIZES ARE IN FEET.
EXAMPLE:
 5'-6" X 4'-6"
EXTERIOR WINDOWS AND DOORS AS PER WINDOW MANUFACTURER'S STANDARD SIZES.
SEE ROUGH STUD OPENING SIZES PROVIDED BY WINDOW / DOOR SUPPLIER.



BASEMENT PLAN
FINISHED FLOOR AREA = 1068 SQ.FT.
TOTAL AREA = 1410 SQ.FT.



MAIN FLOOR PLAN
FLOOR AREA = 1410 SQ.FT.

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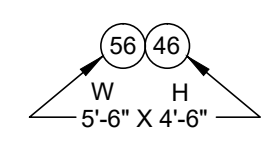
PROJECT:
**THE KNAPP A LEFT
250 OLD KILN CRESCENT
BARRIEFIELD, KINGSTON, ON**

DRAWING TITLE:
**BASEMENT PLAN
MAIN FLOOR PLAN**

SCALE: 1/4"=1'-0"
DATE: AUGUST 7, 2025
DRAWN BY: NP/DN
CHECKED BY: NP/DN
DRAWING REF#: TBD

LOT NUMBER:
29

DRAWING NO:
A-3 OF **4**

NOTE:
ALL WINDOW & DOOR SIZES ARE IN FEET.
EXAMPLE:

EXTERIOR WINDOWS AND DOORS AS PER WINDOW MANUFACTURER'S STANDARD SIZES.
SEE ROUGH STUD OPENING SIZES PROVIDED BY WINDOW / DOOR SUPPLIER.

**FOR HERITAGE REVIEW ONLY.
NOT FOR CONSTRUCTION.**



FOR BUILDING PERMIT SUBMISSION & ISSUANCE

- ALL DRAWINGS SUBMITTED FOR PERMIT ISSUANCE MUST INCLUDE THE FOLLOWING:
- A RED INK STAMP INDICATING DESIGNER BCIN & FIRM BCIN
 - A RED INK STAMP WITH AN ORIGINAL SIGNATURE IN BLUE INK
 - SCHEDULE 1: DESIGNER FORM WITH AN ORIGINAL SIGNATURE IN BLUE INK

DO NOT SCALE THE DRAWINGS. ALL DIMENSIONS AND SPECIFICATIONS MUST BE REVIEWED BY CONTRACTOR / OWNER PRIOR TO CONSTRUCTION. ANY ERRORS OR OMISSIONS MUST BE SENT TO NU DIMENSION DESIGN AND DRAFTING FOR AMENDMENTS. ALL DESIGNS AND DRAWINGS REMAIN THE PROPERTY OF NU DIMENSION DESIGN AND DRAFTING. REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY NU DIMENSION DESIGN AND DRAFTING IS FORBIDDEN.

#	DRAWING DESCRIPTION	DATE
1	ISSUED FOR HERITAGE REVIEW	08/06/25
2		
3		
4		
5		

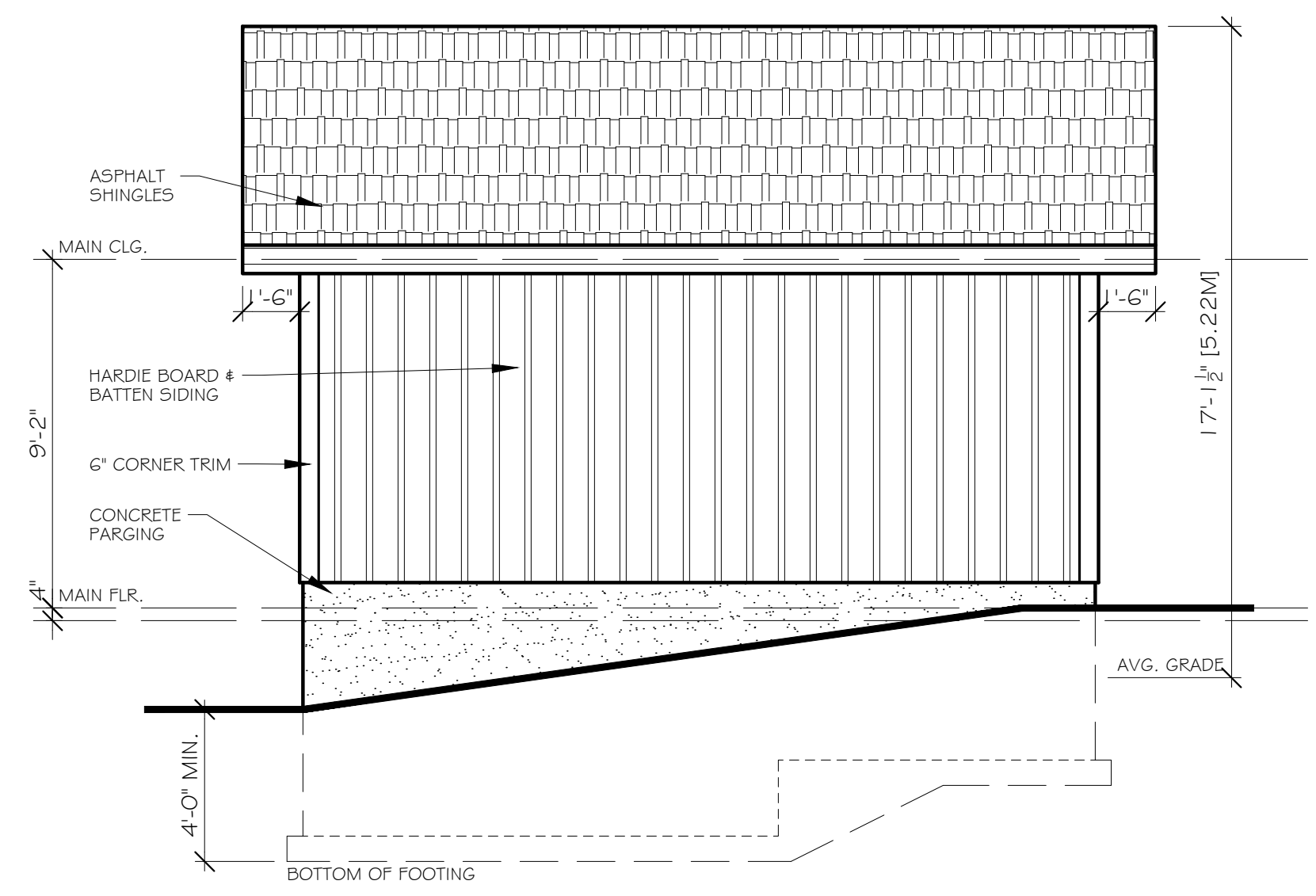
PROJECT:
**THE KNAPP A LEFT
250 OLD KILN CRESCENT
BARRIEFIELD, KINGSTON, ON**

DRAWING TITLE:
**DETACHED
DOUBLE GARAGE**

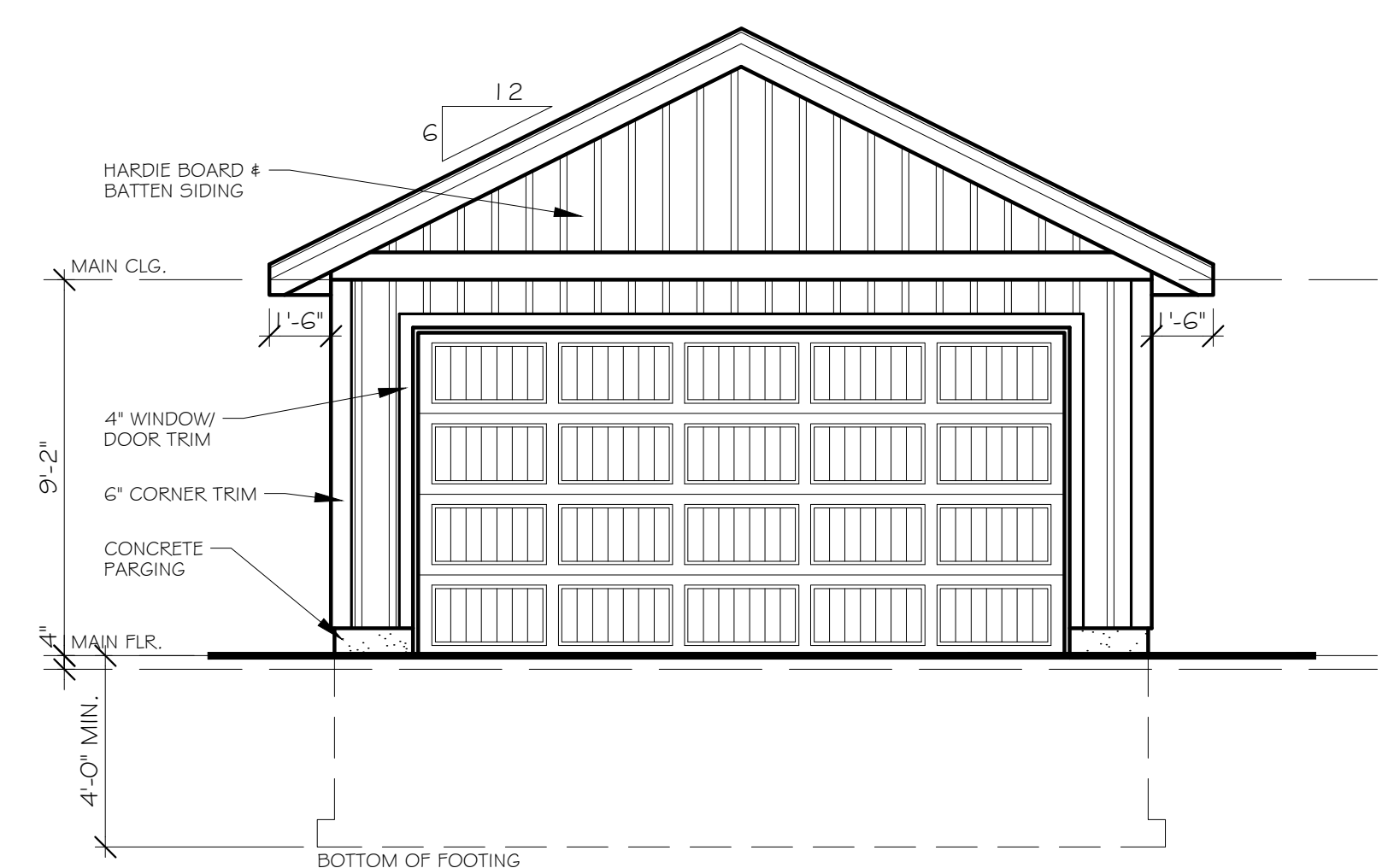
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DATE: AUGUST 6, 2025
DRAWN BY: NP/DN
CHECKED BY: NP/DN
DRAWING REF#: TBD

LOT NUMBER:
29

DRAWING NO.: **A-4** OF **4**

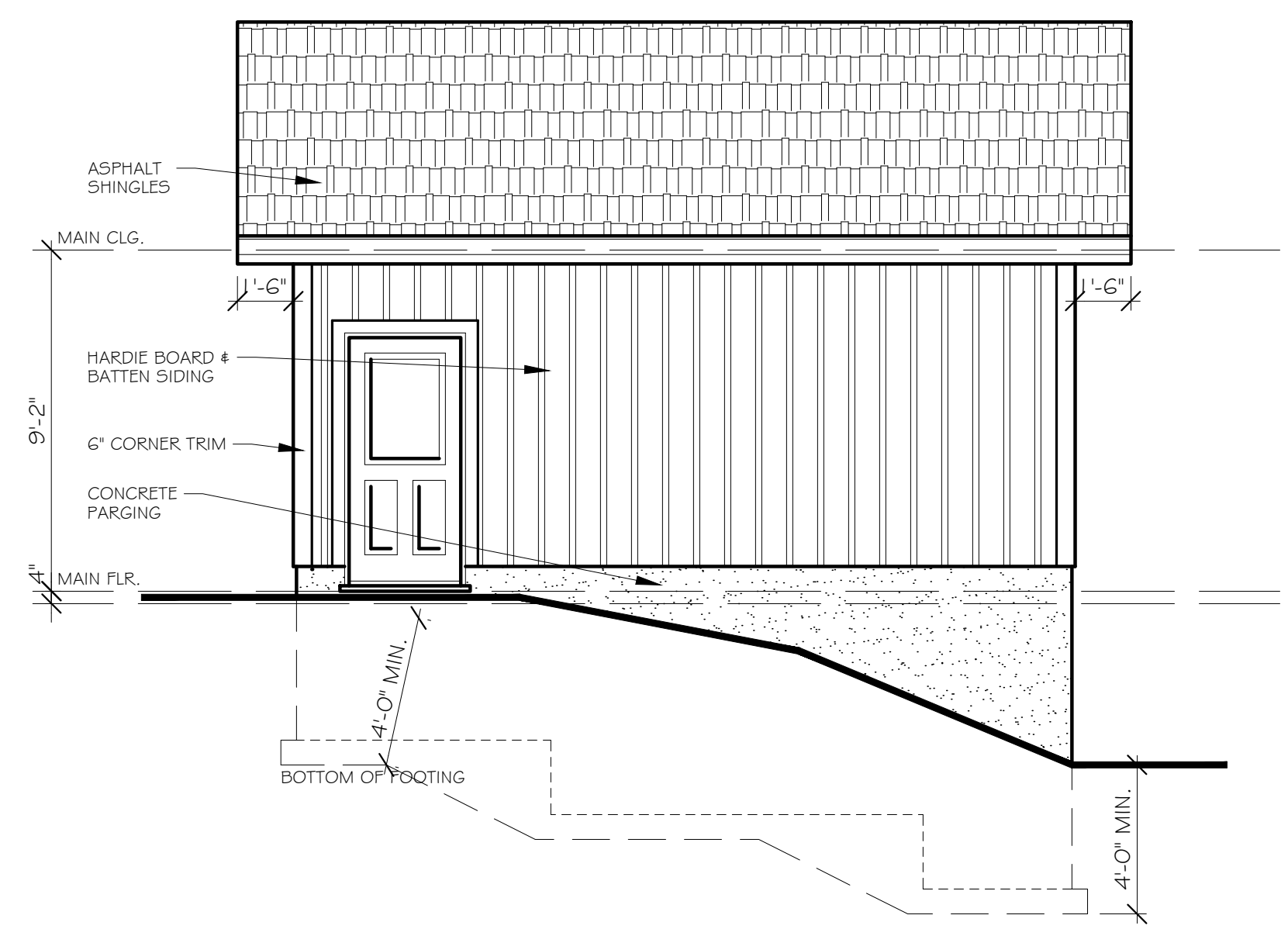


LEFT ELEVATION

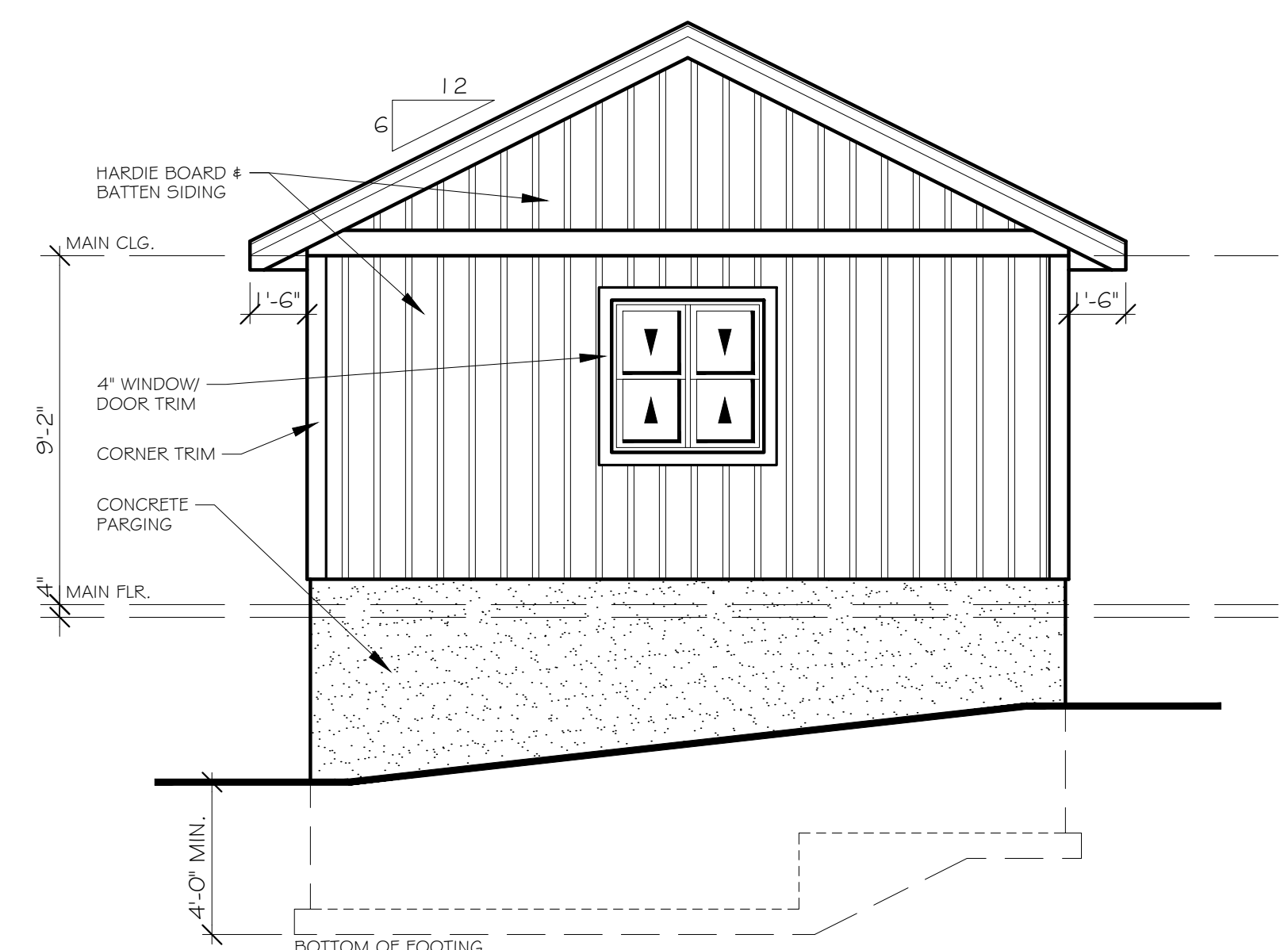


FRONT ELEVATION

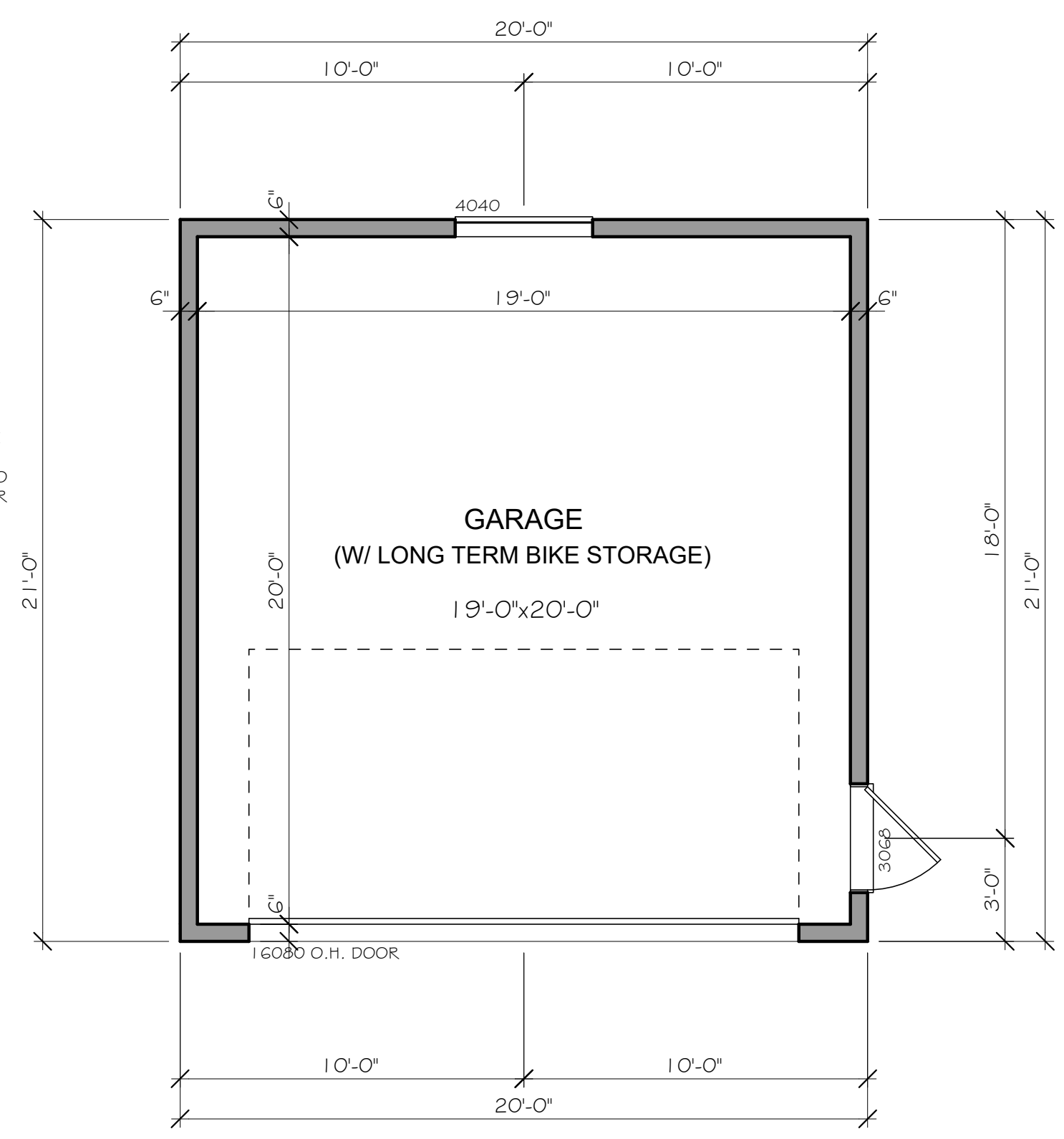
NOTE:
FOOTING DEPTH AT 4'-0" MIN. OR TO BE DETERMINED ON SITE AS PER DEPTH OF BEDROCK. CONNECTION OF FOOTING TO BEDROCK, AND FROST PROTECTION FOR FOOTINGS LESS THAN 4'-0" BELOW GRADE TO BE DESIGNED BY ENGINEER.



RIGHT ELEVATION



REAR ELEVATION



MAIN FLOOR PLAN
FLOOR AREA = 420 SQ.FT.

BARRIEFIELD HIGHLANDS LOT 29 DETACHED DOUBLE GARAGE			
DESCRIPTION	MATERIAL	STYLE	COLOUR
ROOFING	ASPHALT SHINGLES		SUMMIT GREY
SIDING	HARDIE BOARD	WOOD TEXTURED	DEEP OCEAN
GARAGE DOOR	INSULATED STEEL	AS SHOWN	WHITE
ENTRY DOOR	INSULATED STEEL	AS SHOWN	WHITE
WINDOWS	PVC SOL	DOUBLE HUNG	WHITE
SOFFIT	ALUMINUM		WHITE
FASCIA	ALUMINUM		WHITE

Kingston Heritage Properties Committee

Summary of Input from Technical Review Process

P18-052-2025

Committee Member	Comments Enclosed	No Comments Provided	No Response Received
Councillor Glenn			X
Councillor Oosterhof			X
Jennifer Demitor			X
Gunnar Heissler			X
Alexander Legnini			X
Bob Mayo		X	
Peter Gower			X
Ann Stevens	X		
Daniel Rose			X



City of Kingston
216 Ontario Street
Kingston, Ontario
Canada, K7L 2Z3

Exhibit D
Report Number HP-25-025

where history and innovation thrive

Website: www.cityofkingston.ca
TTY: Dial 613-546-4889

Date:	August 12, 2025
Form:	Heritage Properties Committee Reviewer Form
Reviewer Name:	Ann Stevens
Application Type:	Heritage Permit
File Number:	P18-052-2025
Property Address:	250 OLD KILN CRES

Description of Proposal:

The subject property is a newly created property (Lot 29) in the Barriefield Highlands subdivision on the lands of the former Horton Public School in the Village of Barriefield. The lands are designated as part of the Barriefield Heritage Conservation District under Part V of the Ontario Heritage Act. The owners are seeking heritage approval to construct a new dwelling, with walk out basement, and a detached two-car garage. Detailed plans, prepared by Nu Dimensions, are included with the application.

Comments for Consideration on the Application:

I have no issues with this proposed home. It is low key and fitting to that area.

Recommended Conditions for the Application:

None.